CITY OF MISSION PLANNING COMMISSION

AGENDA

April 25, 2022

7:00 PM

Powell Community Center, 6200 Martway Street

- I. Call to Order
- II. Approval of Minutes from the March 28, 2022 Meeting
- III. New Business
 - 1. <u>Public Hearing Case # 22-10 Approval of Preliminary and Final Plat of</u> <u>Barkley Corner</u>
 - Staff Report
 - Preliminary Plat
 - Final Plat
 - 2. <u>Case # 22-07 Approval of Site Plan and Non-Conforming Use Permit for</u> <u>Arby's Restaurant</u>
 - Staff Report
 - Site Plan
 - Non-Conforming Use Permit
 - 3. Case # 22-09 Mission Mart Final Plat of the Third Plat
 - Staff Report
 - Final Plat
- IV. Old Business
 - 1. Mohawk Park Update
- V. Planning Commission Comments
- VI. Staff Updates

Questions concerning this meeting may be addressed to staff contact, Karie Kneller, City Planner, at (913) 676-8366 or <u>kkneller@missionks.org</u>.

NEW BUSINESS AGENDA ITEM: 1

PROJECT NUMBER / TITLE:	Case #22-10 – Barkley Corner Preliminary/Final Plat
REQUEST:	Approval of a Preliminary and Final Plat at Barkley Corner
LOCATION:	6780 Johnson Drive Mission, KS 66202 Property ID: KF251208-1025
APPLICANT:	Flynn Restaurant Group, DBA RB American Group LLC 6200 Oak Tree Boulevard, Suite 250 Independence, OH 44131
STAFF CONTACT:	Karie Kneller, City Planner
PUBLIC HEARING:	April 25, 2022
LEGAL NOTICE PUBLICATION:	April 5, 2022



Property Information:

The subject property, a fast-food drive-through and dine-in establishment, is located at 6780 Johnson Drive on the northeast corner of Johnson Drive and Barkley Street. The applicant, Flynn Restaurant Group, applied with the City for a renovation to the existing building's interior and exterior façade, which will be heard subsequently for Case #22-07. The property is zoned "C-1" Restricted Business District and lies within the West Gateway Form-Based Code Overlay District. The building's front façade faces Johnson Drive to the south with a drive through window facing west toward Barkley Street. Parking that consists of 31 stalls, including two ADA stalls, is situated on the west, north, and east sides of the building, with primary ingress and egress on Johnson Drive. Secondary access to the site is approximately 175 feet north on Barkley Street. A non-conforming pole sign currently exists on the south side of the site on Johnson Drive.

Surrounding the subject property are the following zones and uses:

- West: "CP-2" Planned General Business District Commercial
- East: "CP-1" Restricted Business District Commercial; "R-1" Single Family Residential Residential
- North: "C-1" Restricted Business District Medical Office Surface Parking
- South: "CP-2B" Planned Retail and Service District Commercial

A water main operated by WaterOne runs east and west on the property approximately nine feet behind the edge of curb along Johnson Drive. Stormwater is collected at inlets on the southeast corner of the property at Johnson Drive and on the southwest along Barkley Street where water drains to a stormwater pipe running parallel to the water main. There is also a stormwater pipe running south along the eastern border of the property approximately four feet from the property line. Underground and overhead electrical utilities provide power to the site.

Project Background:

The property was not platted during its initial development. The City requested that a preliminary and final plat be submitted with the Site Plan improvements request. If approved, the final plat will be recorded with the Johnson County Register of Deeds.



Code Review – Consideration of Preliminary Plats:

Mission municipal code at §440.220 states that Preliminary Plats shall be approved by the Planning Commission if it determines that:

1. The proposed preliminary plat conforms to the requirements of this Title, the applicable zoning district regulations and any other applicable provisions of this Code, subject only to acceptable rule exceptions.

It is Staff's determination that the proposed plat is in conformance with Mission's Municipal Code.

2. The subdivision or platting represents an overall development pattern that is consistent with the Master Plan and the Official Street Map.

It is Staff's determination that the plat represents a development pattern already established and supported by the Comprehensive Plan.

3. The plat contains a sound, well-conceived parcel and land subdivision layout which is consistent with good land planning and site engineering design principles.

It is Staff's determination that the plat supports good land planning and allows for future redevelopment in compliance with adopted standards.

4. The spacing and design of proposed curb cuts and intersection locations is consistent with good traffic engineering design and public safety considerations.

It is Staff's determination that the plat does not propose changes to curb cuts or intersections.

5. All submission requirements have been satisfied.

All the requirements of 440.220-Submission of Preliminary Plats have been satisfied.

Code Review – Consideration of Final Plats:

Mission municipal code at §440.260 states that Final Plats shall be approved by the Planning Commission if it determines that:

1. The final plat substantially conforms to the approved preliminary plat and rule exceptions granted thereto.

The final plat matches the preliminary plat as submitted with this application.

2. The plat conforms to all applicable requirements of this Code, subject only to approved rule exceptions.

Code requirements are described below. The proposed plat is in conformance.

3. All submission requirements have been satisfied.

All of the requirements of 440.250-Submission of Final Plats have been satisfied.

4. Approval of a final plat shall require the affirmative vote of a majority of the membership of the Planning Commission.

Analysis:

The Preliminary and Final Plats with this application consist of one lot with two dedicated rights-of-way.

Lot: total area is 41,135 square feet (.94 acres)

Right-of-Way (ROW): Currently, the sidewalk along Johnson Drive and the sidewalk along Barkley Street are City-owned public rights-of-way, excepting a small corner of the southwest portion of the property. The City plans to make improvements in the right-of-way along Johnson Drive in the future, and requested a recorded plat that identified enough additional dedication of right-of-way to allow for widening of the sidewalk at the time improvements are made. The proposed plat dedicates nine feet of public right-of-way to the City of Mission from the edge of curb to the property for this purpose.

Easements: The easements proposed in the plat are areas dedicated for access to electrical utilities and stormwater utilities respectively. Both easements are 10 feet wide on center of the utility line. The electrical utility runs from the main line east to the building, and the stormwater pipe runs the entire length of the eastern edge of the property, approximately four feet from the property line.

Zone CP-1 of the Mission Municipal Code requires a minimum 15-foot front setback for one- and two-story buildings. There is no side or rear yard requirement stipulated in the municipal code, but buildings shall not exceed two stories in areas zoned CP-1.

Generally, §455.100 of the Mission Municipal Code states that a typical subdivision at the time of an original plat shall exercise good design and layout, that good planning principles are followed, efficient use of land, and natural assets such as trees and topography be retained wherever practical.

The above dimensions and designations are in accordance with the ordinances set forth in the Mission Municipal Code and requirements set forth by City Staff.

Staff Recommendation:

Staff recommends that the Planning Commission recommend approval of Case #22-10 Preliminary and Final Plat of Barkley Corner to the City Council.

Planning Commission Action:

This Preliminary and Final Plat, stamped by a licensed professional surveyor, will be considered by the Planning Commission at their April 25, 2022 meeting. The two plats will be submitted to the City Council upon approval.

City Council Action:

This Preliminary Plat will be considered by the City Council at their May 18, 2022 meeting. Upon approval, the Final Plat will be signed by the Mayor, City Clerk, and Notary Public.

An unplatted tract lying in the Northwest Quarter of Section 8, Township 12 South, Range 25 East in the City of Mission, Johnson County, Kansas

Property Description

An unplatted parcel, being all that part of the Northwest Quarter of Section 8, Township 12 South, Range 25 East, in the City of Mission, Johnson County, Kansas, described by Michael J. Bogina, Kansas PS—1655, of Olsson, KSLS—114, on March 28, 2022, as follows:

COMMENCING at the Southwest corner of the Northwest Quarter of Section 8, Township 12 South, Range 25 East; thence North 88 degrees 12 minutes 57 seconds East, on the South line of said Northwest Quarter, a distance of 1154.78 feet to the POINT OF BEGINNING; thence North 02 degrees 14 minutes 36 seconds West, departing said South line, a distance of 235.04 feet to a point; thence North 88 degrees 13 minutes 07 seconds East a distance of 175.01 feet to a point on the West line of Mission Meadows, a subdivision in the City of Mission, Johnson County, Kansas; thence South 02 degrees 15 minutes 04 seconds East, on said West line, a distance of 235.03 feet to a point on said South line; thence South 88 degrees 12 minutes 57 seconds West, departing said West line, on said South line, a distance of 175.04 feet to the POINT OF BEGINNING, containing 41,135 Square Feet or 0.9443 Acres, more or less.

<u>Dedication</u>

The undersigned proprietor of the above described tract of land has caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision shall hereafter be known as "Barkley Corner."

The proprietors, successors and assigns, of property described on this plat hereby dedicate for public use all land described on this plat as streets or public ways (designated as Dedicated R/W) not heretofore dedicated. The proprietors, successors and assigns, of property shown on this plat hereby absolve and agree, jointly and severally, to indemnify the City of Mission, Kansas of any expense incident to the relocation of any existing utility improvements heretofore installed and required to be relocated in accordance with proposed improvements described in this plat.

A non-exclusive easement or license to enter upon, locate, construct, use and maintain or authorize the location, construction, maintenance or use of conduits, surface drainage facilities, subsurface drainage facilities, and similar facilities, upon, over and under these areas outlined and designated on this plat as "Storm Sewer Easement" or "Drainage Easement" is hereby granted to the City of Mission, Kansas.

<u>Proposed Use</u>

Subject Property's Proposed Use is as a Commercial Restaurant.

<u>Liquid Waste</u>

Liquid Waste is to be handled by existing connection to Public Sanitary Sewer Main located at the Southwest corner of Subject Property

<u>Execution</u>

IN TESTIMONY WHEREOF, the undersigned proprietor has hereunto subscribed his name.

OWNER — National Retail Properties, LP, a Delaware limited partnership

By: NNN GP Corp., a Delaware corporation, as general partner

Signature

Printed Name & Title

STATE OF Florida

) SS COUNTY OF Orange

The foregoing instrument was acknowledged before me this _____ day of _____, 2022, by _____, of NNN GP Corp., a Delaware corporation, as general partner of National Retail Properties, LP, a Delaware limited partnership, on behalf of the partnership. They are personally known to me.

Notary:

My appointment expires:

Certification:

This is to certify that on March 28, 2022, this field survey was completed on the ground by me or under my direct supervision and that said survey meets or exceeds the "Kansas Minimum Standards" for Boundary Surveys pursuant to K.A.R. 66–12–1.

1655

2∾| Michael J. Bogina, PS−1655 O' Olsson, LS-114 mibogina@olsson.com

<u>Approvals</u>

APPROVED BY, the City Council of the City of Mission, Johnson County, Kansas, this ___ day of _____, 2022.

2				
4pr	Solana	Flora,	Mayor	
4:1				

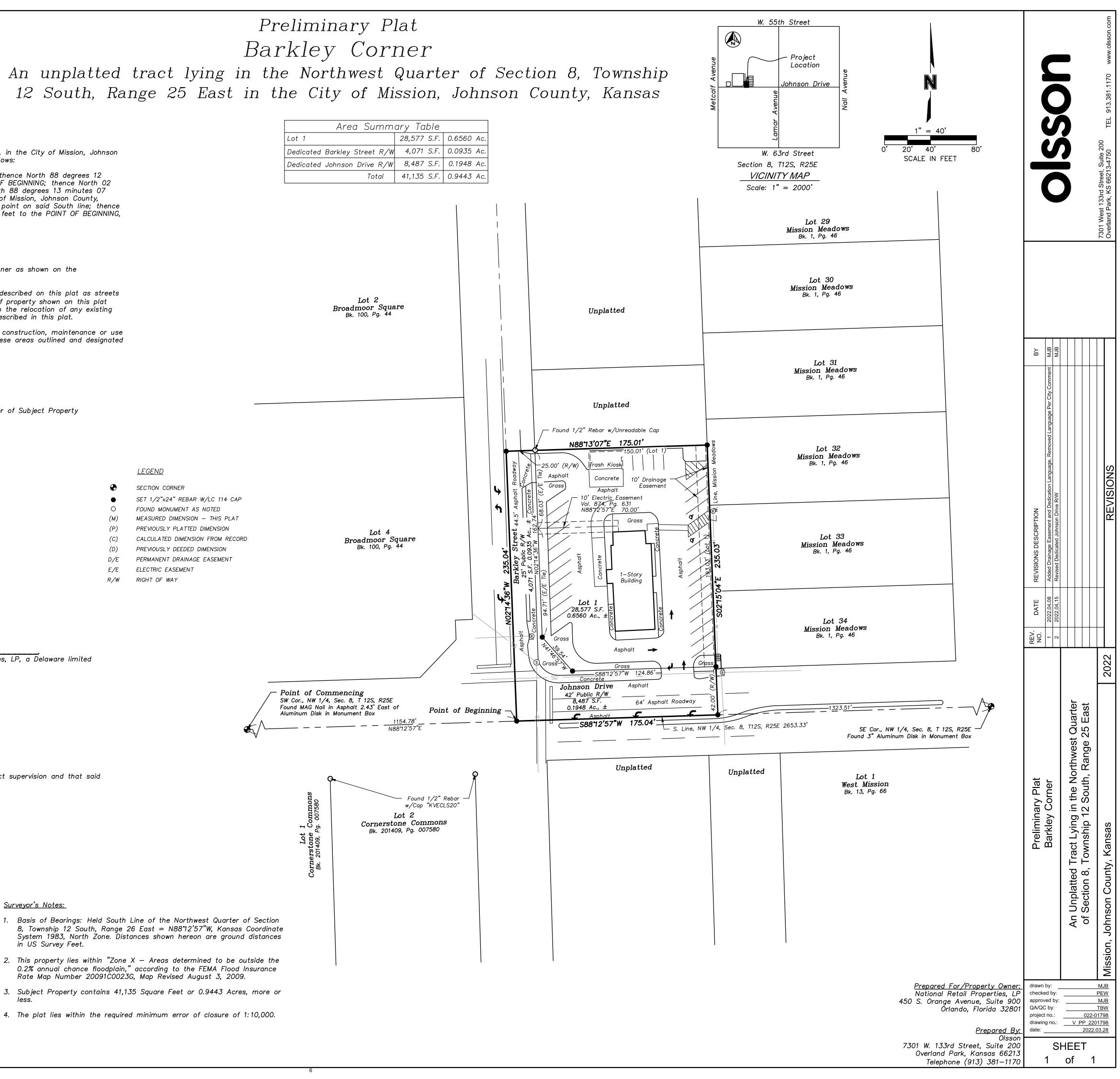
Audrey McClanahan, City Clerk

APPROVED BY, the Planning Commission of the City of Mission, Johnson County, _, 2022. Kansas, this _____ day of .

Mike Lee, Planning Commission Chairperson

E Kim Steffens, Planning Commission Secretary

Preliminary Plat



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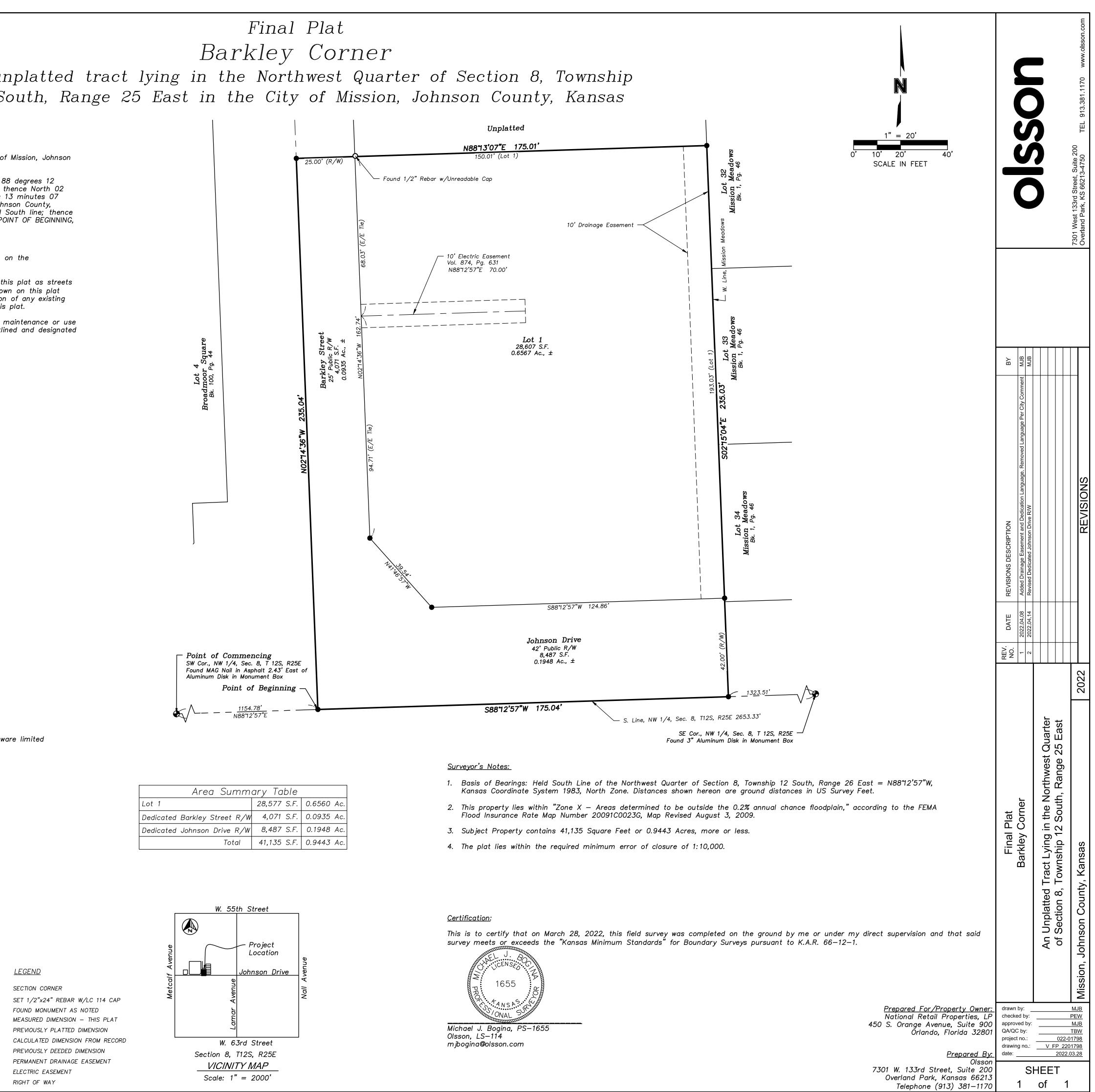
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<u>Executi</u>	<u>on</u>

IN TESTIMONY WHEREOF, the undersigned proprietor has hereunto subscribed his name.

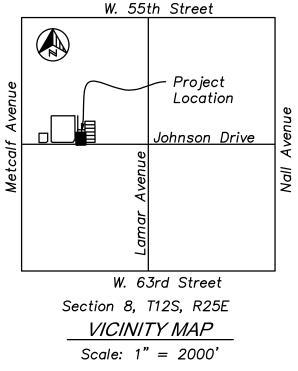
	OWNER — National Retail Properties, LP, a Delaware limited partnership	
	By: NNN GP Corp., a Delaware corporation, as general partner	
m jbogina	By: Signature Printed Name & Title	
	STATE OF Florida)	
USER:) SS COUNTY OF Orange)	
	The foregoing instrument was acknowledged before me this day of, 2022, by	
dwb	of NNN GP Corp., a Delaware corporation, as general partner of National Retail Properties, L partnership, on behalf of the partnership. They are personally known to me.	P, a Delawa
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2201	Notary: My appointment expires:	
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- 04 \ 	Approvals	
-01/98\40- XREFS:	APPROVED BY, the City Council of the City of Mission, Johnson County, Kansas, this	
10 - Z		
20/F	ATTEST:	
2000 08p	Solana Flora, Mayor ATTEST: Audrey McClanahan, City Clerk	•
04	APPROVED BY, the Planning Commission of the City of Mission, Johnson County,	0
/015(202:	Kansas, this day of, 2022.	(M) (P)
022 \ 15,		(C)
F: \2022 \01501 = 02000 \022- Apr 15, 2022 4: 08pm	Mike Lee, Planning Commission Chairperson	(D) D/E
		E/E
DWG: DATE:	Kim Steffens, Planning Commission Secretary	R/W

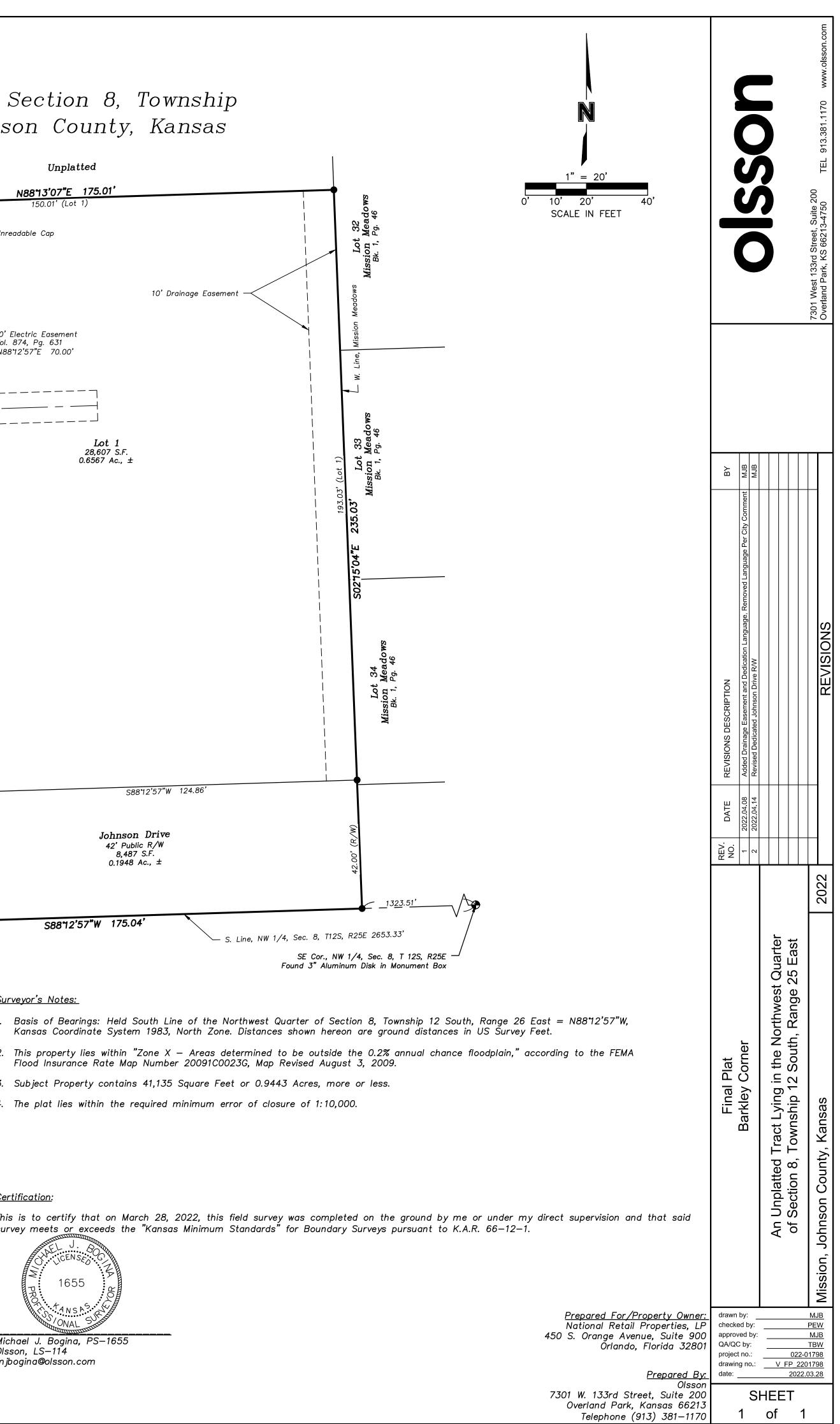
Final Plat Barkley Corner



Area Summ	ary Table	
Lot 1	28,577 S.F.	0.6560 Ac.
Dedicated Barkley Street R/W	4,071 S.F.	0.0935 Ac.
Dedicated Johnson Drive R/W	8,487 S.F.	0.1948 Ac.
Total	41,135 S.F.	0.9443 Ac.

SECTION CORNER FOUND MONUMENT AS NOTED





NEW BUSINESS AGENDA ITEM: 2

PROJECT NUMBER / TITLE: Case #22-07 – Arby's Site Plan

REQUEST:

LOCATION:

6780 Johnson Drive Mission, KS 66202 Property ID: KF251208-1025

Approval of Site Plan Improvements

APPLICANT: Flynn Restaurant Group, DBA RB American Group LLC 6200 Oak Tree Boulevard, Suite 250 Independence, OH 44131

STAFF CONTACT:

Karie Kneller, City Planner





Community Development Department 6090 Woodson Street Mission, KS 66202 913-676-8360

Development Application

Permit #_____

F	Project Details
General Location or Address of Property: 6780 Jo	ohnson Dr
Present zoning of property: C-1	
Present use of property: Fast Food Restaurant	
Agreement to Pay Expenses	
(City). As a result of the filing of said application, City publication costs, consulting fee, attorney fee, and c and to reimburse City for all cost incurred by City as (10) days of the receipt of any bill submitted by City	munity Development Department of the City of Mission, Kansas y may incur certain expenses, such as but not limited to court reporter fees. Applicant hereby agrees to be responsible for a result of said application. Said costs shall be paid within ten to Applicant. It is understood that no requests granted by City or s have been paid. Costs will be owed whether or not Applicant
Affidavit of Ownership and/or Authorization of A I, subject property. I give my permission for the under being submitted.	gent certify that I am the owner or contract purchaser of the rsigned to act as my agent on behalf of the application hereby
X Signature (Ourper)	Date
Signature (Owner)	Date
X Signature (Owner's Agent)	
*******************************	OFFICE USE ONLY*********
File Fee: \$	Meeting Date
	PC CC
	Date Notices Sent
Total: Receipt #	
Notes:	Date Published
	Decision

Property Information:

The subject property, a fast-food drive-through and dine-in establishment, is located at 6780 Johnson Drive on the northeast corner of Johnson Drive and Barkley Street. The applicant, Flynn Restaurant Group applied with the City for a renovation to the existing building's interior and exterior. The property is zoned "C-1" Restricted Business District and lies within the West Gateway Form-Based Code overlay district. The building's front façade faces Johnson Drive to the south with a drive-through window facing west toward Barkley Street. Parking that consists of 31 stalls, including two ADA stalls, is situated on the west, north, and east sides of the building, with primary ingress and egress on Johnson Drive. Secondary access to the site is approximately 175 feet north on Barkley Street.

Surrounding the subject property are the following zones and uses:

- West: "CP-2" Planned General Business District Commercial
- East: "CP-1" Restricted Business District Commercial; "R-1" Single Family Residential Residential
- North: "C-1" Restricted Business District Parking
- South: "CP-2B" Planned Retail and Service District

Project Background:

Flynn Restaurant Group submitted plans to the City for interior and exterior renovations in March. The franchise is rebranding its restaurants across the country, which involves new signage and overall updates to the interior and exterior of its operations. The total estimated cost is expected to exceed 10% of the total appraised value of the property, and the exterior improvements are significant. The City requested that the improvements include additional site improvements such as parking lot screening, color choices consistent with other developments in the area and the Johnson Drive Design Guidelines, and signage updates that all meet elements of the Form-Based Code, the Municipal Code, and the Johnson Drive Design Guidelines. The City also requested the exterior site improvements include enough space to meet the City's intent to widen the sidewalk from six feet to eight feet along Johnson Drive during future street improvements.

Plan Review:

Mission Comprehensive Plan (2007)

The Comprehensive Plan goals and objectives include sidewalk improvements as part of infrastructure maintenance and enhancement when programming for public infrastructure investments. The Plan also classifies the land use for the property as "mixed-use, medium density." Staff recommended that proposed site improvements allow for future sidewalk improvements. Redevelopment of the site is not proposed at this time.

Johnson Drive Design Guidelines

The Johnson Drive Design Guidelines recommend paint colors and exterior materials consistent with the other structures along Johnson Drive, which include natural yellow, tan, beige, brick, and brown tones. The proposal specifies neutral colors of this variety, and will keep the existing brick around the base of the building. The proposal also includes added landscaping in accordance with the Johnson Drive Design Guidelines. Since the proposal does not include improvements to the existing parking lot, Staff did not require additional parking lot landscaping. If the parking lot is improved at a later date, the plan should include additional landscaping in parking lot islands. Johnson Drive Design Guidelines include a recommendation for an eight-foot sidewalk to enhance the pedestrian environment. The proposed landscaping and additional right-of-way dedicated in the plat for Case #22-10 will allow for the existing sidewalk to be widened with streetscape improvements in the future.

West Gateway Vision Plan and Form-Based Code Overlay District

The Form-Based Code overlay district regulations supersede the municipal code in all cases. Generally, if a property is built prior to the adoption of the Form-Based Code, it may be considered a legal non-conforming use.

If a property undergoes renovations that exceed 10% of the appraised value, the development shall meet all requirements of the Form-Based Code. If the property owner or owner's agent cannot meet the regulations of the Form-Based Code during its proposed site improvements, the applicant shall also apply for a Non-Conforming Use Permit.

The West Gateway Vision Plan and Form-Based Code envisions a mixed-use development pattern in the western portion of Mission. In the area where Arby's currently exists, the Plan recommends medium-density buildings an average of four stories high. As the transition occurs from the residential zone to the urban core, embedded parking structures positioned away from major arterials and thoroughfares built with minimal building setbacks should include residential and retail uses. The original build-out of the Arby's restaurant does not meet these criteria, and the proposed improvements will not change the building footprint or parking areas at this time. Therefore, a Non-Conforming Use Permit is included with this proposal.

Municipal Code

The following sections of the Mission Municipal Code apply:

- §430.060 restricts the use of pole signs when sign improvements are made;
- §415.060 requires landscaping to screen parking lots from view; and
- §505.300 requires that rooftop mechanical equipment is screened from pedestrian view.

Project Proposal

General Assessment:

The City requires a Non-conforming Use Permit, as the site improvements will likely exceed 10% of the appraised property value and will not meet the criteria of the Form-Based Code. Although the existing site is a legal non-conforming use, the applicant has made attempts to provide some elements of the Form-Based Code and Johnson Drive Design Guidelines at Staff's request. Namely, the proposal provides for screened views of the parking lots facing Johnson Drive and Barkley, an added bike rack, and colors that are consistent with the Johnson Drive Design Guidelines. The screening and allowance for future widening of the sidewalk on Johnson Drive provides a more inviting pedestrian experience. Trees and other shrubbery along Johnson Drive is not recommended due to the existing water main that runs parallel to Johnson Drive on the property. Therefore, Staff recommended a low sitting wall and/or ornamental grasses to screen the parking lot view from Johnson Drive. Staff has determined that these elements of the proposal significantly improve the site.

The proposal meets the Mission Municipal Code at §430.060, which requires the removal of the existing pole sign during the renovation. The proposal replaces the pole sign with a monument sign approximately 35 feet to the west of its current location. The proposal also adds landscaping on-site in accordance with §415.060 that will provide parking lot screening with ornamental grasses that grow to 36" at maturity. Additionally, rooftop mechanical equipment will be screened from pedestrian view in accordance with §505.300.

Recommendation:

Staff recommends that the Planning Commission recommend approval to the City Council of Case #22-07 for site improvements at the Arby's restaurant, 6780 Johnson Drive.

Recommended Conditions of Approval:

1. Approval of the Preliminary and Final Plat at 6780 Johnson Drive.

Planning Commission Action:

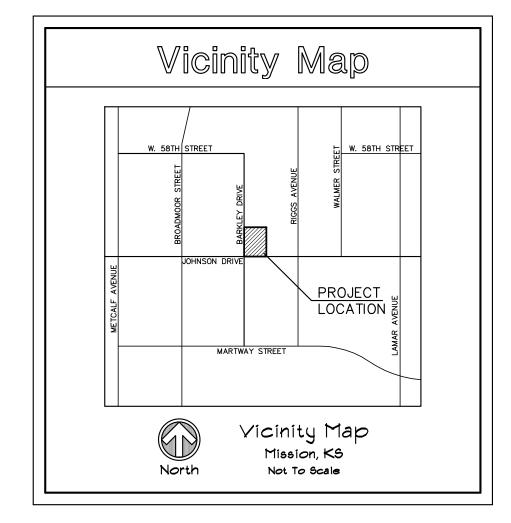
This item will be considered by the Planning Commission at their April 25, 2022 meeting.

City Council Action: Not applicable.



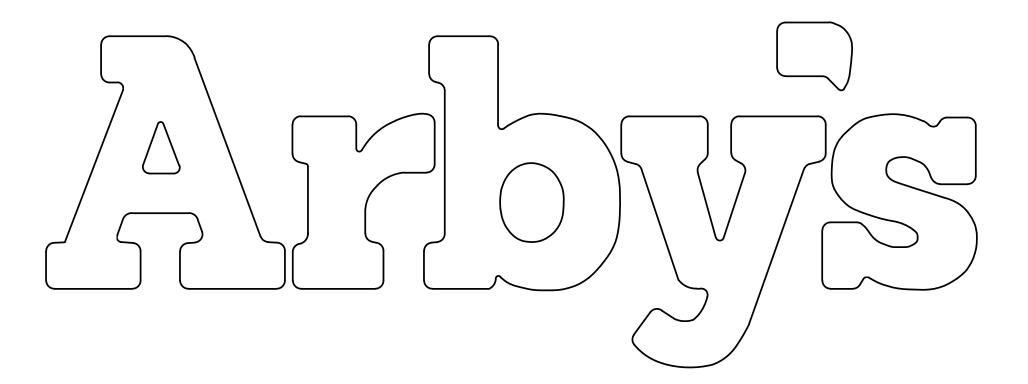
NEW REMODEL FOR: 6780 JOHNSON DRIVE

Sh	eet Index
	CHITECTURAL
ଜାଡା	SHEET INDEX, CODE INFORMATION, GENERAL NOTES, VICINITY MAP, RESPONSIBILITY SCHEDULE CODES
	ALTA SURVEY
ଠାଡା	SITE PLAN, PLAN DETAILS, ACCESSIBLE ROUTE REQUIREMENTS, GENERAL NOTES SIGN DETAIL
DEMO	DEMOLITION PLAN, DEMOLITION NOTES,
A101	FLOOR PLAN, DOOR SCHEDULE, DOOR NOTES, ADA GUIDELINES FOR DOORS, GENERAL NOTES INTERIOR FINISH NOTES, FIELD VERIFICATION NOTE ACCESSIBILITY REQUIREMENTS
A1Ø2	REFLECTED CEILING PLAN, LIGHT FIXTURE SCHEDULE, SECTION, FIELD VERIFICATION NOTE
A1Ø3	ROOF PLAN, NOTES, PREFABRICATED CANOPY NOTES
A1Ø4	RESTROOM PLAN DETAIL, INTERIOR ELEVATIONS, DETAILS, TYPICAL ACCESSIBILITY CLEARANCE REQUIREMENTS, NOTES
A1Ø5	FLOOR FINISH PLAN, FLOOR FINISH SCHEDULE, NOTES
A2Ø1	BUILDING ELEVATIONS, EXTERIOR FINISH NOTES, SIGNAGE NOTE, GENERAL NOTES
A2Ø2	BUILDING ELEVATION, EXTERIOR FINISH NOTES, SIGNAGE NOTE, EXTERIOR PAINT SPECIFICATIONS. GENERAL NOTES
A4Ø1	INTERIOR ELEVATIONS, NOTES
A4Ø2	INTERIOR ELEVATIONS, INTERIOR FINISH NOTES, INTERIOR FINISH SCHEDULE, WALL FINISH PLAN, DOOR TYPES, TYPICAL HARDWARE SCHEDULE, HARDWARE NOTES



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BU	LDING CODE F				
	INTERNATION/	L BUILDING COL	DE 2012		
	THE SCOPE C REFINISHING/ ONLY. THE B	<u>DING OFFICIAL:</u> F THIS PROJECT REMODEL AND N JILDING USE ARE HAS BEEN SLIGH	ION-STRUC EAS HAVE	TURAL INTERION NOT CHANGED.	R REMODEL
A.	OCCUPANCY	CLASSIFICATION:	ASSEMBI	_Y - GROUP A-:	2 SECTION 34
B.	OCCUPANT LO	DAD CALCULATIC			TABLE 1004.
		F	SQUARE OOTAGE	SQUARE FEET PER PERSON	OCCUPAN LOAD
	INTERIOR DIN VESTIBULE/WA		(actual 80 1181	seating) 5 200	66 16 6
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C.	BUILDING ARE	ARE FOOTAGE E EA - GROSS SQU ERIMETER WALL)	ARE FOOT,		= 2,75Ø \$
D.	CONSTRUCTIO	N TYPE: 5-B	TABLE 50	3	
E.	HEIGHT/AREA ALLOWED HEI ACTUAL HEIGH		I STORY,	40' . 17'-0" (parapet	TABLE 50
	ALLOWED AR		60005.F		TABLE 50
	ACTUAL BUILD	ING AREA:			2,75Ø S
F.	EGRESS:				
	MINIMUM DOOF	REQUIRED: .2"	I	30N = 17.6"	SECTION 100 TABLE 1005 SECTION 101

MAX. TRAVEL DISTANCE ALLOWED: 200'



General Notes

- ALL WORK DONE BY THIS CONTRACTOR AND/OR HIS SUBCONTRACTORS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL EXISTING CITY, STATE AND NATIONAL BUILDING CODES, LAWS, SPECIAL ORDINANCES, AND/OR REGULATIONS.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO STARTING ANY CONSTRUCTION. STARTING OF CONSTRUCTION MEANS APPROVAL OF CONDITIONS.
- 3. THE CONTRACTOR SHALL VERIFY ALL EQUIPMENT REQUIREMENTS PRIOR TO START OF CONSTRUCTION.
- 4. THE GENERAL CONTRACTOR SHALL INSTALL OWNER PROVIDED OCCUPANT LOAD SIGN IN THE DINING AREA BY THE MAIN EXIT STATING THE MAXIMUM OCCUPANT LOAD.
- THE GENERAL CONTRACTOR SHALL MOUNT OWNER PROVIDED ACCESSIBILITY RESTROOM SIGNS ON THE LATCH SIDE OF RESTROOM DOORS, MOUNTED 60 INCHES TO THE CENTER OF THE SIGNS FROM THE FINISHED FLOOR.
- 6. SELF SERVICE SHELVES AND DISPENSING DEVISES FOR TABLEWARE, DISHWARE, CONDIMENTS, FOOD AND BEVERAGES SHALL BE INSTALLED TO COMPLY WITH ADA 4.2 AND FIGURE 5.4.
- CONTRACTOR TO VERIFY ALL OWNER PROVIDED ITEMS AND INSTALLATION WORK REQUIRED OF CONTRACTOR PRIOR TO PURCHASING OF MATERIALS OR STARTING OF CONSTRUCTION.
- 8. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS ON THE PROJECT, BUILDING PERMIT, HEALTH DEPARTMENT, ETC. PRIOR TO STARTING OF ANY CONSTRUCTION ON THE PROJECT. COPIES OF ALL PERMITS SHALL BE DISTRIBUTED TO THE OWNER AND ARCHITECT.
- 9. CONTRACTOR TO INSPECT AND INVENTORY ALL "OWNER SUPPLIED" MATERIALS UPON DELIVERY AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER.

SECTION 1004.1 ON = 17.6" TABLE 1005.3.2 SECTION 1010.1.1 EGRESS WIDTH PROVIDED: (3) @ 36", (1) @ 42" = 150" PROVIDED TABLE 1017.2

- GROUP A-2 SECTION 303

TABLE 1004.1

OCCUPANT LOAD

= 2,75Ø S.F.

TABLE 503

TABLE 5Ø3

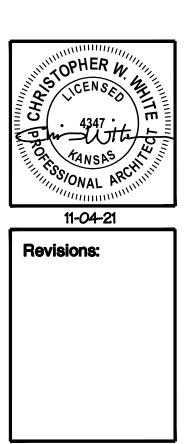
2,750 S.F.

OUNER: ARCHITECT: RB AMERICAN GROUP 6200 OAK TREE BLVD 5801 E 41st ST., SUITE 712 8128 EAST 63rd SOUTH INDEPENDENCE, OH 44131 TULSA, OKLAHOMA 14135 TULSA, OKLAHOMA 14133 PHONE: 216-525-2775 PHONE: 918-664-1557

14

STRUCTURAL ENGINEER: WHITE DESIGN GROUP, P.C. SNOWDEN ENGINEERING INC. PHONE: 918-252-4557

CATEGORY / TASK DINING ROOM DIVIDER OR LOW U DINING ROOM FINISHES - OAK TR DINING ROOM FINISHES - WALL V DINING ROOM FINISHES - FAUX TI DINING ROOM FINISHES - WOOD F DINING ROOM FINISHES - FLOOR SOLID SURFACE WINDOW SILLS METAL CORNER TRIMS SERVICE COUNTER COUNTERTOP CONDIMENT COUNTER COUNTERTO CONDIMENT COUNTER PLASTIC L NEW CONDIMENT COUNTER (IF REC WALL MOUNTED PICTURES ADA SIGNAGE MISCELLANEOUS INTERIOR SIGNA BOOTHS AND BENCHES TABLES (TOPS AND BASES) CHAIRS AND STOOLS HIGH CHAIRS TRASH RECEPTACLES PREFABRICATED SOFFITS INTERIOR DOORS DRIVE THRU WINDOW (IF REQUIRE) RESTROOM PLUMBING FIXTURES RESTROOM PLUMBING ACCESSOR PREFABRICATED CANOPIES DRIVE THRU MENU & PREVIEW BO INTERIOR MENU BOARD PREFABRICATED RED SIGNAGE POINT OF SALE: CONDUITS & PUL CABLING SPEAKERS ARBY'S CAROUSEL 'A' SIGN EXTERIOR BACKLIT SIGNAGE ALL BUILDING LIGHT FIXTURES PARKING LOT LIGHTS NOTES: UNLESS SPECIFIED HEREIN NO CONSTRUCTION DOCUMENTS.



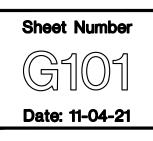


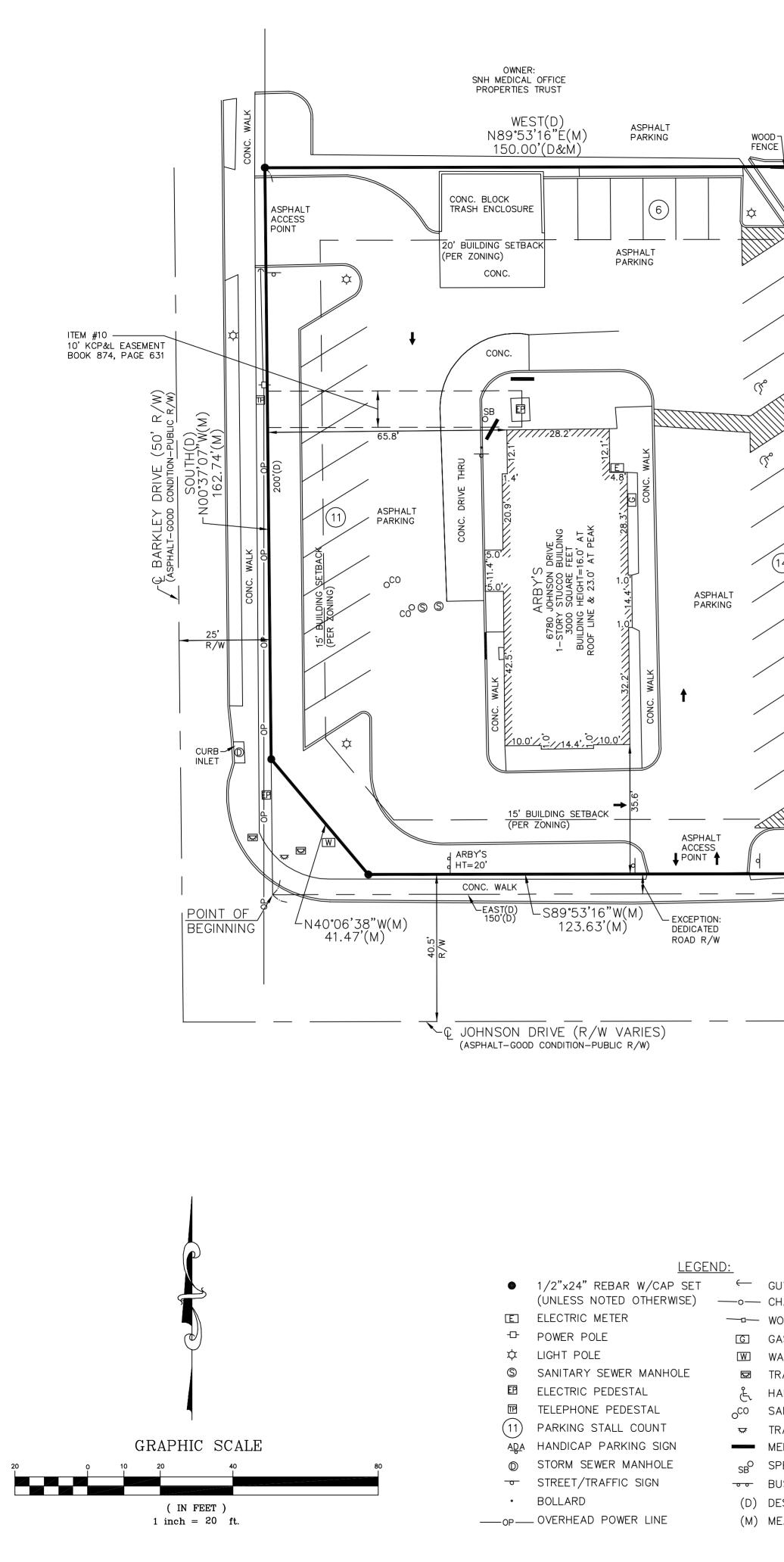
MISSION, KANSAS 66202

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WHERE SUBMITTALS ARE NOT REQUIRED, THE EXACT SPECIFICATION MUST BE USED.

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PROPERTY ADDRESS: 6780 JOHNSON DRIVE, MISSION, KANSAS

LAND AREA: 28,757 SQUARE FEET OR 0.66 ACRES, MORE OR LESS.

REFERENCE PLAT:

TOPOGRAPHIC AND BOUNDARY SURVEY OF SUBJECT PROPERTY PERFORMED BY KAW VALLEY ENGINEERING INC. PROJECT NUMBER A02080 DATED FEBRUARY 22, 1999.

ENCROACHMENT

THERE APPEARS TO BE NO ENCROACHMENTS ON THE SUBJECT PROPERTY AT THE TIME OF SURVEY.

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S-BP, LLC

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(14)

1. PER THE CITY OF MISSION, KANSAS ZONING REGULATIONS, THIS PROPERTY IS ZONED "C-1" - RESTRICTED BUSINESS DISTRICT. 2. "C-1" ZONING REQUIREMENTS:

- SETBACKS: FRONT: 15 FEET
- <u>SIDE:</u> NONE, UNLESS ABUTTING A STREET, THEN 15 FEET
- REAR: 20 FEET
- MAXIMUM BUILDING HEIGHT: 2 STORIES OR 40 FEET <u>BULK RESTRICTIONS:</u> NONE
- PARKING REQUIREMENTS: ONE SPACE FOR EACH FOUR SEATS
- 3. THERE EXISTS A TOTAL OF 31 PARKING STALLS ON THE SUBJECT PROPERTY (29 REGULAR + 2 HANDICAPPED)
- 4. THE SUBJECT PROPERTY IS LOCATED IN AN AREA LABELED ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE OF 0.2% ANNUAL CHANCE FLOOD PLAIN) AS DETERMINED BY FEMA FLOOD INSURANCE RATE MAP NUMBER 20091C0023G, EFFECTIVE DATE AUGUST 3, 2009. 5. DIRECT ACCESS TO THE SUBJECT PROPERTY TO AND FROM JOHNSON DRIVE AND BARKLEY DRIVE, DULY DEDICATED AND ACCEPTED PUBLIC STREETS OR HIGHWAYS.
- 6. THE BASIS OF BEARING USED FOR THIS SURVEY WAS ASSUMED SO0'37'07"E ON THE EAST LINE OF THE SUBJECT PROPERTY. 7. UNDER THE CURRENT ZONING THE SUBJECT PROPERTY ALLOWS FOR A RESTAURANT.
- 8. DRAINAGE APPEARS TO DRAIN INTO PUBLIC RIGHT-OF WAYS BASED ON OBSERVATIONS, UNABLE TO DETERMINE DRAINAGE DIRECTION. 9. ALL UTILITIES APPEAR TO ENTER THE PROPERTY VIA A PUBLIC RIGHT-OF-WAY OR VIA A UTILITY EASEMENT 10. THERE IS NO OBSERVABLE EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP. SUMP OR SANITARY LANDFILL.
- 11. THERE IS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS. 12. THERE ARE NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION.
- 13. THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OF BUILDING ADDITIONS WITHIN RECENT MONTHS. 14. NO EVIDENCE OF POTENTIAL WETLANDS WERE OBSERVED ON THE SUBJECT PROPERTY AT THE TIME THE SURVEY WAS CONDUCTED, NOR HAVE WE RECEIVED ANY DOCUMENTATION OF ANY WETLANDS BEING LOCATED ON THE SUBJECT PROPERTY.
- 15. THIS SURVEY MAP CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF THE SURVEY. 16. THERE ARE NO DISCREPANCIES BETWEEN THE BOUNDARY LINES OF THE PROPERTY AS SHOWN ON THIS SURVEY MAP AND AS DESCRIBED IN THE LEGAL DESCRIPTION PRESENTED IN THE TITLE COMMITMENT.
- 17. THE BOUNDARY LINES OF THE PROPERTY ARE CONTIGUOUS WITH THE BOUNDARY LINES OF ALL ADJOINING STREETS, HIGHWAYS, RIGHTS OF WAY AND EASEMENTS, PUBLIC OR PRIVATE, WITHOUT GORES, GAPS OR OVERLAPS, AS DESCRIBED IN THEIR MOST RECENT RESPECTIVE LEGAL DESCRIPTIONS OF RECORD.
- 18. EXCEPT AS OTHERWISE NOTED BELOW, IF THE PROPERTY CONSISTS OF TWO OR MORE PARCELS, THERE ARE NO GAPS OR GORES BETWEEN SAID PARCELS. 19. THERE IS NO OBSERVABLE EVIDENCE OF EASEMENT OR RIGHTS OF WAY ON OR ACROSS THE SURVEYED PROPERTY, OR ON ADJOINING PROPERTIES IF THEY APPEAR TO AFFECT THE SURVEYED PROPERTY, UNLESS OTHERWISE SHOWN HEREON.
- 20. THERE ARE NO OBSERVABLE PARTY WALL AND NO OBSERVABLE ABOVE GROUND ENCROACHMENTS EITHER (A) BY THE IMPROVEMENTS ON THE SUBJECT PROPERTY UPON ADJOINING PROPERTIES, STREETS, ALLEYS, EASEMENTS, OR RIGHTS OF WAY, OR (B) BY THE IMPROVEMENTS ON ANY ADJOINING PROPERTIES, STREETS, OR ALLEYS UPON THE SUBJECT PROPERTY EXCEPT AS OTHERWISE SHOWN HEREON
- 21. THE LOCATION OF EACH EASEMENT, RIGHT OF WAY, SERVITUDE, AND OTHER MATTER (ABOVE OR BELOW GROUND) AFFECTING THE SUBJECT PROPERTY AND LISTED IN TITLE COMMITMENT NO. NCS-907276-144-OMHA, DATED MAY 16, 2018, ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY WITH RESPECT TO THE SUBJECT PROPERTY, HAS BEEN SHOWN ON THE SURVEY, TOGETHER WITH APPROPRIATE RECORDING REFERENCES, TO THE EXTENT THAT SUCH MATTERS CAN BE LOCATED. THE PROPERTY SHOWN ON THE SURVEY IS ONE AND THE SAME AS THE PROPERTY DESCRIBED IN THE REFERENCED TITLE COMMITMENT.
- 22. THE SUBJECT PROPERTY DOES NOT APPEAR TO SERVE ANY ADJOINING PROPERTY FOR DRAINAGE, UTILITIES, STRUCTURAL SUPPORT, INGRESS OR EGRESS. 23. THE RECORD DESCRIPTION OF THE SUBJECT PROPERTY FORMS A MATHEMATICALLY CLOSED FIGURE.
- 24. THERE IS NO OBSERVABLE EVIDENCE OF ANY CEMETERIES OR BURIAL GROUNDS ON THE SUBJECT PROPERTY AT THE TIME THE FIELD SURVEY WAS CONDUCTED.

SURVEY REFERENCE: TITLE COMMITMENT NUMBER: NCS-907276-144-OMHA EFFECTIVE DATE: MAY 16, 2018 AT 8:00 A.M. FIRST AMERICAN TITLE INSURANCE COMPANY

- 8. ASSESSMENTS, IF ANY, ARISING PURSUANT TO RESOLUTION NO. 504 BY THE CITY OF MISSION, RECORDED JUNE 19, 1995 AS DOCUMENT NO. 2499072 IN BOOK 4608, PAGE 1 FOR THE IMPROVEMENT FOR JOHNSON DRIVE. (AFFECTS THE SUBJECT PROPERTY AND IS BLANKET IN NATURE) 9. DECLARATION OF RESTRICTIONS; RECORDED FEBRUARY 14, 1950 AS DOCUMENT NO. 395422; IN BOOK 44, PAGE 24 BUT DELETING ANY COVENANT,
- CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42USC 3604(C) OR ANY SIMILAR STATE STATUTE OR LOCAL ORDINANCE. (AFFECTS THE SUBJECT PROPERTY AND IS OF A NATURE WHICH CANNOT BE PLOTTED) 10. EASEMENT GRANTED TO KANSAS CITY POWER & LIGHT COMPANY AS SET FORTH IN THE INSTRUMENT RECORDED NOVEMBER 22, 1972 AS DOCUMENT NO.
- 934390 IN BOOK 874, PAGE 631. (PLOTTED AND SHOWN) 11. TERMS AND PROVISIONS OF FENCE AGREEMENT, DATED AUGUST 20, 2009, RECORDED SEPTEMBER 25, 2009 IN BOOK 200909, PAGE 007003. (AFFECTS
- THE SUBJECT PROPERTY AND IS OF A NATURE WHICH CANNOT BE PLOTTED)

DESCRIPTION

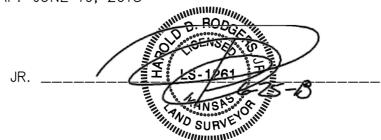
THAT PART OF THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 12, RANGE 25, IN THE CITY OF MISSION, JOHNSON COUNTY, KANSAS, DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE NORTH RIGHT OF WAY LINE OF JOHNSON DRIVE (AS NOW ESTABLISHED) AND THE EAST RIGHT OF WAY LINE OF BARKLEY DRIVE (AS NOW ESTABLISHED); THENCE EAST ALONG THE NORTH LINE OF JOHNSON DRIVE A DISTANCE OF 150 FEET; THENCE NORTH 200 FEET: THENCE WEST 150 FEET TO THE EAST LINE OF BARKLEY DRIVE: THENCE SOUTH ALONG SAID EAST LINE OF BARKLEY DRIVE 200 FEET TO THE POINT OF BEGINNING, SUBJECT TO THAT PART IN ROAD.

SURVEYOR'S CERTIFICATE:

TO: NATIONAL RETAIL PROPERTIES, INC., NATIONAL RETAIL PROPERTIES, LP, NNN TRS, INC., RB AMERICAN GROUP LLC, A DELAWARE LIMITED LIABILITY COMPANY, RB MISSOURI WEST LLC, A DELAWARE LIMITED LIABILITY COMPANY, FIRST AMERICAN TITLE INSURANCE COMPANY AND THE MATTHEWS COMPANY, INC. AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 6(B), 7(A), 7(B1), 7(C), 8, 9, 10(A), 13, 14, 16, 17, 20 AND 21 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 18, 2018. DATE OF PLAT OR MAP: JUNE 19, 2018

HAROLD D. RODGERS, JR. KANSAS LS-1261



This Survey has been prepared solely for the benefit of the parties set forth in this Surveyor's Certification and may not be quoted or relied upon by, nor may copies be delivered to, any other party or used for any other purpose including, without limitation, the preparation of zoning reports or any other third party reports, without The Matthews Company, Inc. and Design Surveys, LLC's prior written consent. The Matthews Company, Inc. and Design Surveys, LLC expressly disclaims any duty or obligation towards any party that is not identified in this Surveyor's Certification.

Please be advised that The Matthews Company, Inc. and Design Surveys, LLC will not include the providers of any third party reports in the Surveyor's Certification.

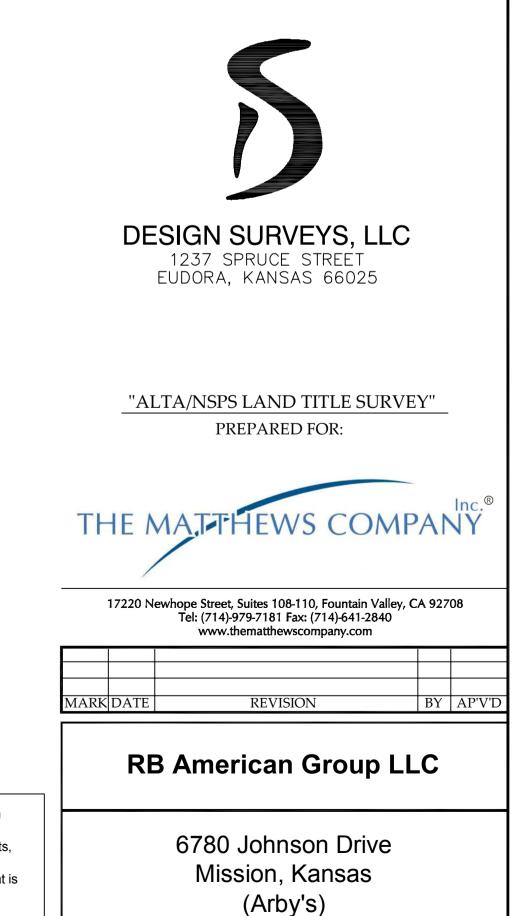
← GUY ANCHOR G GAS METER W WATER METER ☑ TRAFFIC CONTROL BOX டீ HANDICAPPED PARKING STALL CO SANITARY SEWER CLEANOUT ☞ TRAFFIC SIGNAL LIGHT POLE MENU BOARD SPEAKER BOX --- BUSINESS SIGN (D) DESCRIBED (M) MEASURED

W. 58TH STREET W. 58TH STREET JOHNSON DRIVE PROJECT LOCATION MARTWAY STREET VICINITY MAP NOT TO SCALE

UTILITY NOTE:

"THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS, THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES."





SHEET 1 OF 1 CHKD BY: DESIGN SURVEYS: 18-3843

SCALE: 1"=20'

DATE: 06/19/18

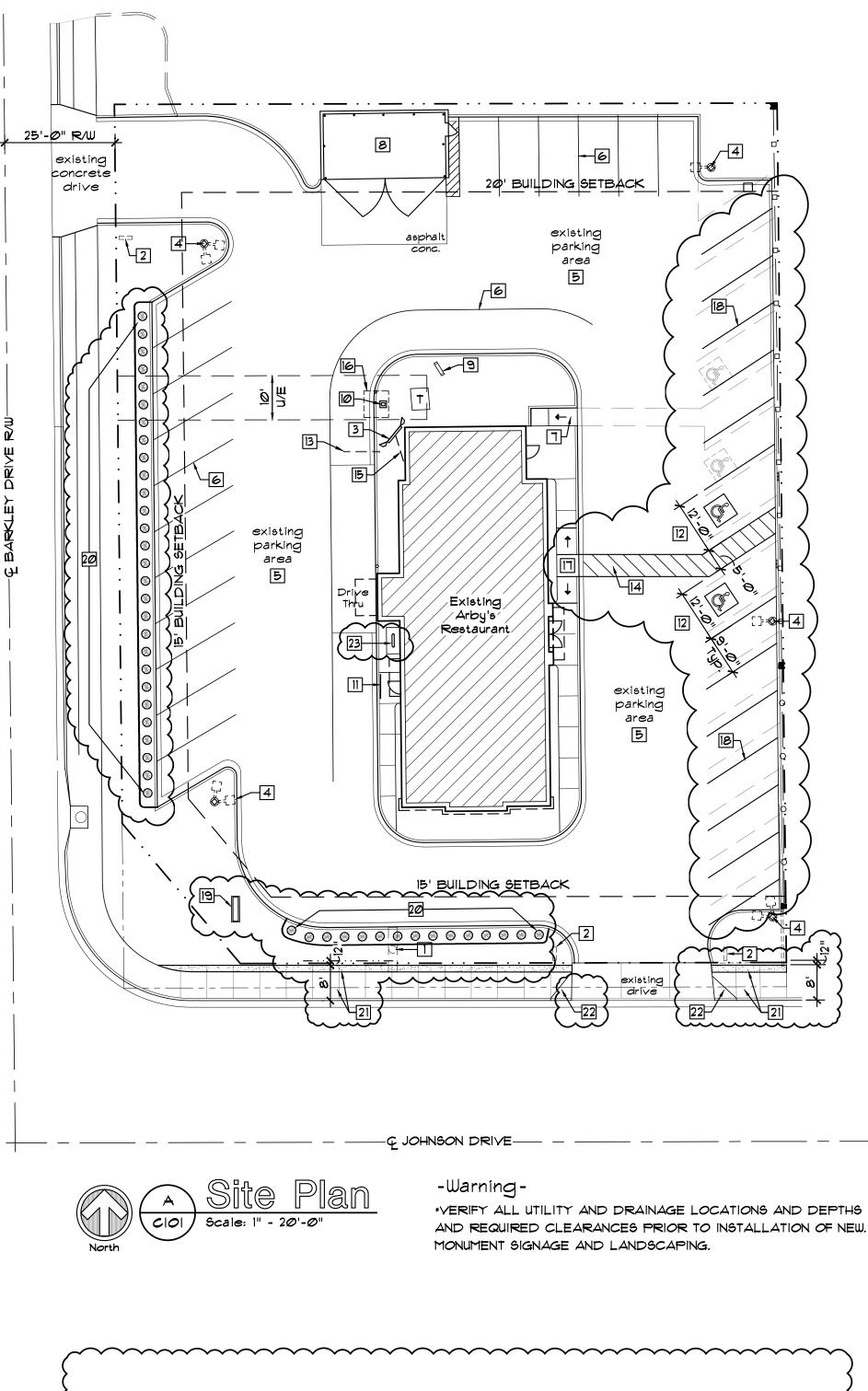
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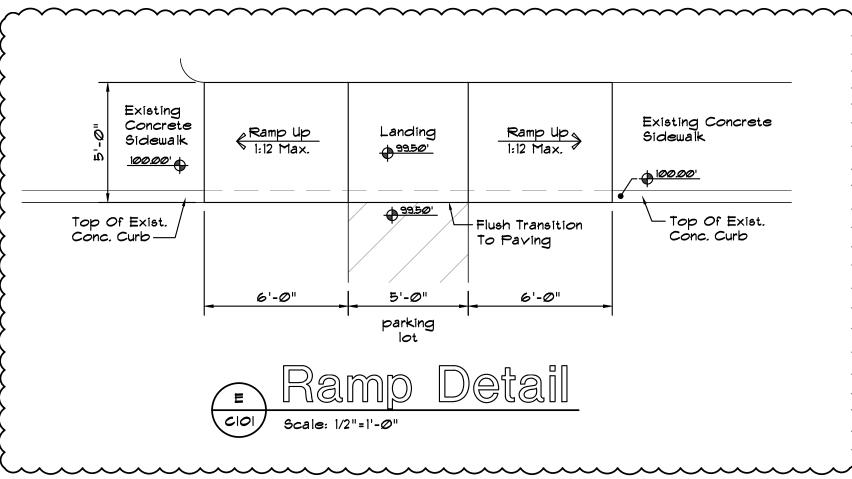
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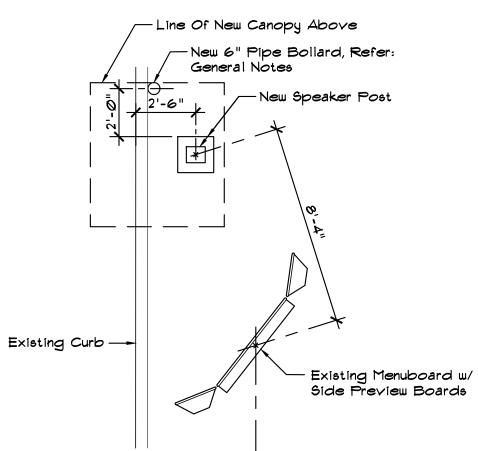
STORE NO.: 6051

APPROVED:





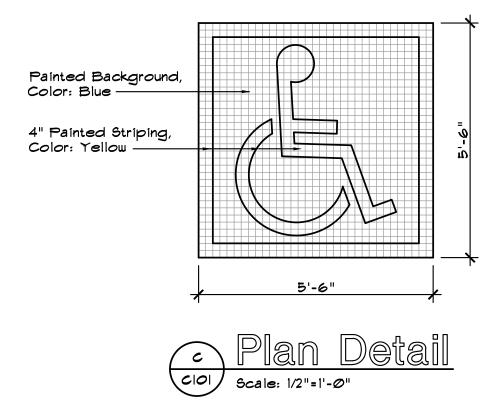
*VERIFY ALL UTILITY AND DRAINAGE LOCATIONS AND DEPTHS AND REQUIRED CLEARANCES PRIOR TO INSTALLATION OF NEW.

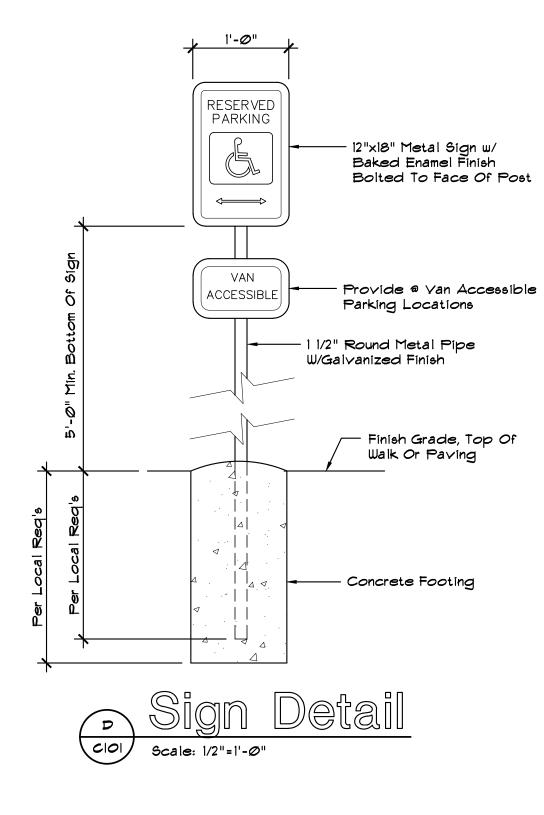


5'-Ø" * Verify Exact Location And Configuration W/Owner's Construction Manager In Field.

* General Contractor To Provide New Concrete Footings For Canopy And Menuboard, Verify. Requirements With Signage Vendor.







General Notes

- 1. Crack Fill, Seal & Re-stripe The All Asphalt Areas Of The Parking Lot. Contractor To Sandblast Existing Striping Prior To Painting. Verify With Owners Construction Manager Prior To Starting Of Construction.
- 2. Crack Fill Concrete Paving And Sidewalks Per Owners Directive.
- 3. Patch And Repair Any Existing Sidewalks That Are Affected By The Work.
- 4. All Signage Work Shall Be Performed Under A Separate Permit.
- 5. The Contractor Shall Provide And Install New Red Plastic Bollard Covers On All Existing And New Bollards On The Project Site.
- 6. Repaint All Existing Concrete Pole Bases To Match Masonry. 7. Site Lighting Contractor To Verify All Local Site Lighting Ordinances,
- Requirements, Etc. Prior To Starting Of Any Construction.

	Accessible Route Requirements
La Re	ne Accessible Parking Spaces, Loading Aisles, New Concrete Ramps And anding, And Existing Sidwalks Shall Meet Or Exceed Accessibility equirements For Flatness Of Slope, And Cross Slope Along The Accessibile oute Leading To The Building Entrance Door.
Ac Ar Co	e Contractor Shall Provide Survey Information For All Existing And New ccessible Route Slope Information. The Contractor Shall Notify The Owner nd Architect Of Any Accessible Route Sidewalk Condition That Is Not In ompliance With Accessible Route Flatness Requirements, Remove Any Areas f Non-Conformance, And Provide New Construction That Is In Conformance.
٨I	l Accessible Routes Shall Comply With The Following:
1.	Ground Surfaces Shall Be Stable, Firm And Slip Resistant.
2.	Changes In Level Of 1/4" Shall Be Permitted To Be Vertical. Changes In Level Between 1/4" Min. And 1/2" Max. Shall Be Beveled With A Slope Not Greater Than 1:2. Changes In Level Greater Than 1/2" Shall Be Ramped.
3.	The Running Slope Of The Accessible Route Shall Not Exceed 1:20 Slope. The Cross Slope Of Walking Surfaces Shall Not Exceed 1:48 Slope.
4.	The Clear Width Of An Accessible Route Shall Be Not Less Than 36" Min.
5.	Walking Surfaces With A Slope Greater Than 1:20 Shall Be Considered A Ramp. The Maximum Slope Of A Ramp Shall Be 1:12 Slope. The Maximum Cross Slope Of A Ramp Shall Not Exceed 1:48 Slope.
6.	A Ramp With A Rise Of Greater Than 6" Shall Have Handrails On Both

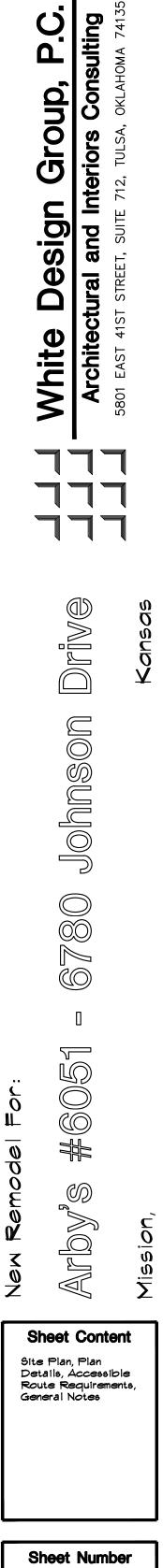
Sides.' The Maximum Rise Of A Single Ramp Shall Be 30". Accessible Parking Spaces And Passenger Loading Aisles Shall Not Exceed 1:48 Slope In Any Direction.

	Keynote Schedule
Mark	Description
	Existing Pole Mounted Signage To Be Removed.
2	Existing Directional Signage To Be Removed. Cap And Bury Electrical, Typical. Verify W/Owners Construction Manager.
3	Existing Menu Board To Remain, Patch And Repair As Required, Provide Touch Up Paint And Make Minor Hardware Repairs As Needed. All Repairs By Owner.
4	Existing Parking Lot Light To Remain, Re-lamp Fixture Heads With LED Lamps, Provided And Installed By Electrical Contractor Paint Poles "Dark Bronze", Typical. Verify City & Development Requirements.
Б	Existing Asphalt Parking Lot, Crack Fill & Seal. Verify With Owner's Representative To Identify Areas Of Additional Repair.
6	Existing 4" Painted Striping To Be Repainted, Color: Yellow, Typical.
	Existing ADA Accessible Ramp 1:12 Max. Slope To Remain.
8	Existing Refuse Enclosure To Remain, Replace Damaged Gate Panels And Hardware. Paint Enclosure & Gates Color *2 Brown, And Coping Cap (If Metal) Color *3 Red, Refer: Exterior Finish Notes.
9	Existing Pre-Sale Board To Remain, Repairs By Owner.
Ø	New Speaker Post, In Adjusted Location, Refer To Detail This Sheet. Installed By Signage Vendor, Concrete Base By General Contractor. Contractor To Provide New 6" Steel Pipe Bollard In Front Of Speaker Post, Refer: General Notes.
11	Existing Steel Railings To Remain, Paint Color #3 Red, Typical. Refer: Exterior Finish Notes.
12	New ADA Accessible Painted Graphic And Striping. Refer: Plan Detail This Sheet.
13	Existing Height Detector To Be Removed.
[4]	New Accessible Route - Verify That Existing Slopes And Grades Comply With The ADA Requirements For Accessible Routes, Parking Areas, Loading Zones And Ramps. Notify The Owner And Architect Of Any Areas Of Non-Conformance And Recommend A Solution For Barrier Removal.
(LI)	The Contractor Shall Provide And Install 3/4" Conduit From Menu Board To Panels And 2" Conduit W/Pull String From Menu Board To Above Ceiling For Future Digital Menu Boards.
کا	The Contractor Shall Provide Power & Data Cabling And Install 1" Conduit W/Pull String To The New Speaker Canopy.
17	New ADA Accessible Ramp 1:12 Max. Slope. Refer: Detail This Sheet.
18	New 4" Painted Striping, Color: Yellow, Typical.
	New Monument Sign. Refer To Signage Company Drawings & Specifications. Verify Location W/Owner's Construction Manager.
	Provide 15 - 5 Gallon Dwarf Fountain Grass Along Johnson Drive Frontage And 28 - 5 Gallon Dwarf Fountain Grass Along Barkley Drive Frontage For Parking Lot Screening. Space At 48"o.c Species Mature Size 24"-36"H. x 18"-30" Spread. New Fountain Grass To Be Planted In Planting Beds W/Metal Landscape Edging And 3"-5" Multi-Colored River Rock.
21	Existing 6' Wide Concrete Sidewalk To Be Widened To Be 8' Wide Along Johnson Drive. Right-Of-Way/Property Line To Be Adjusted To Allow Space For An Appropriate Safety Buffer And 12" Behind The Sidewalk To Allow For Installation
22	Verify That Existing Curb Ramps Are in Compliance With All Applicable Accessibility Requirements. Repair Or Replace With New Accessible Curb Ramps To Meet ADA And City Requirements, If Necessary.
23	New Bicycle Rack To Meet City Requirements. Verify Exact Location.



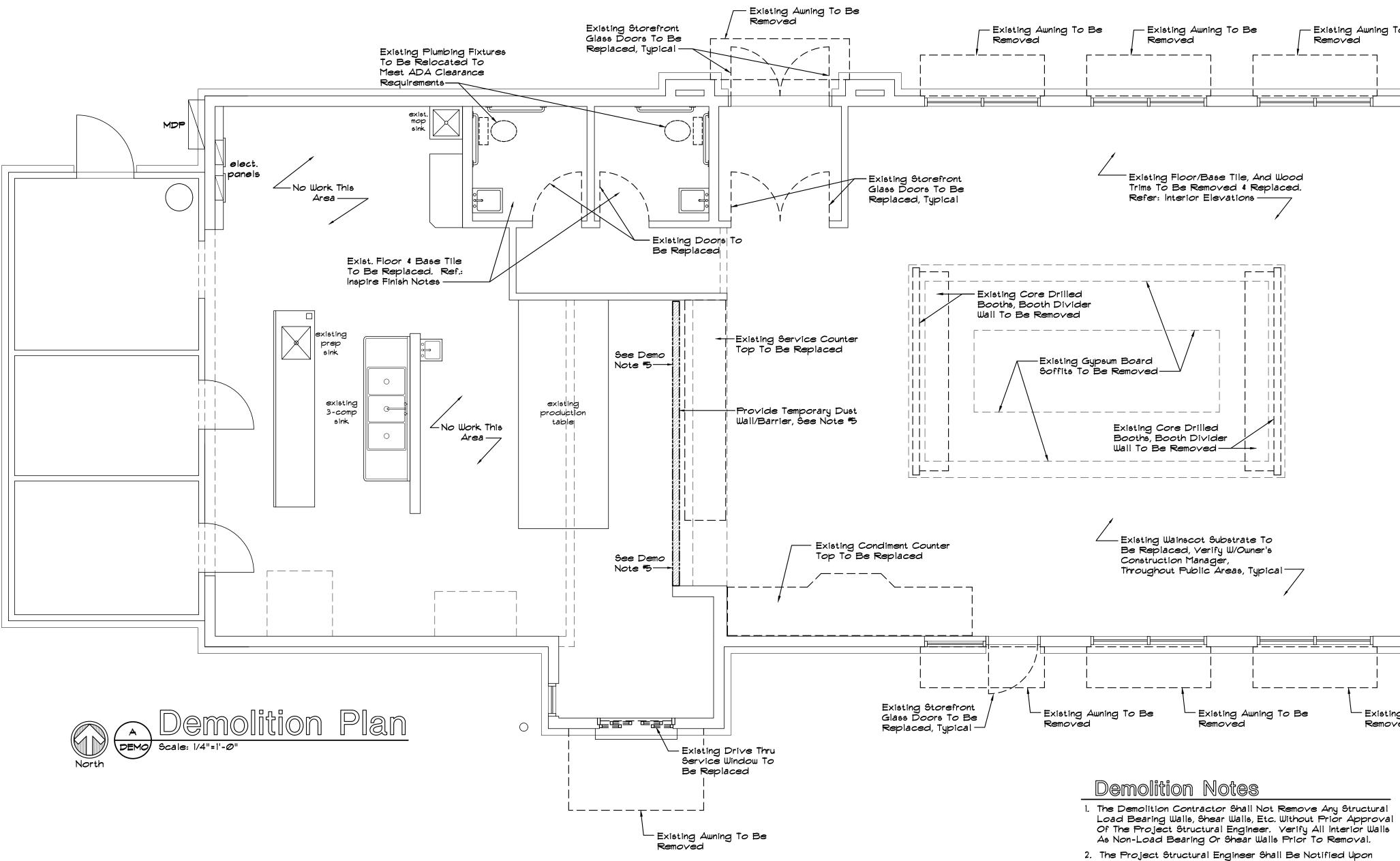
04-11-22 **Revisions:**

<u>REVISION:</u> March 10, 2022 <u>REVISION:</u> April 11, 2022



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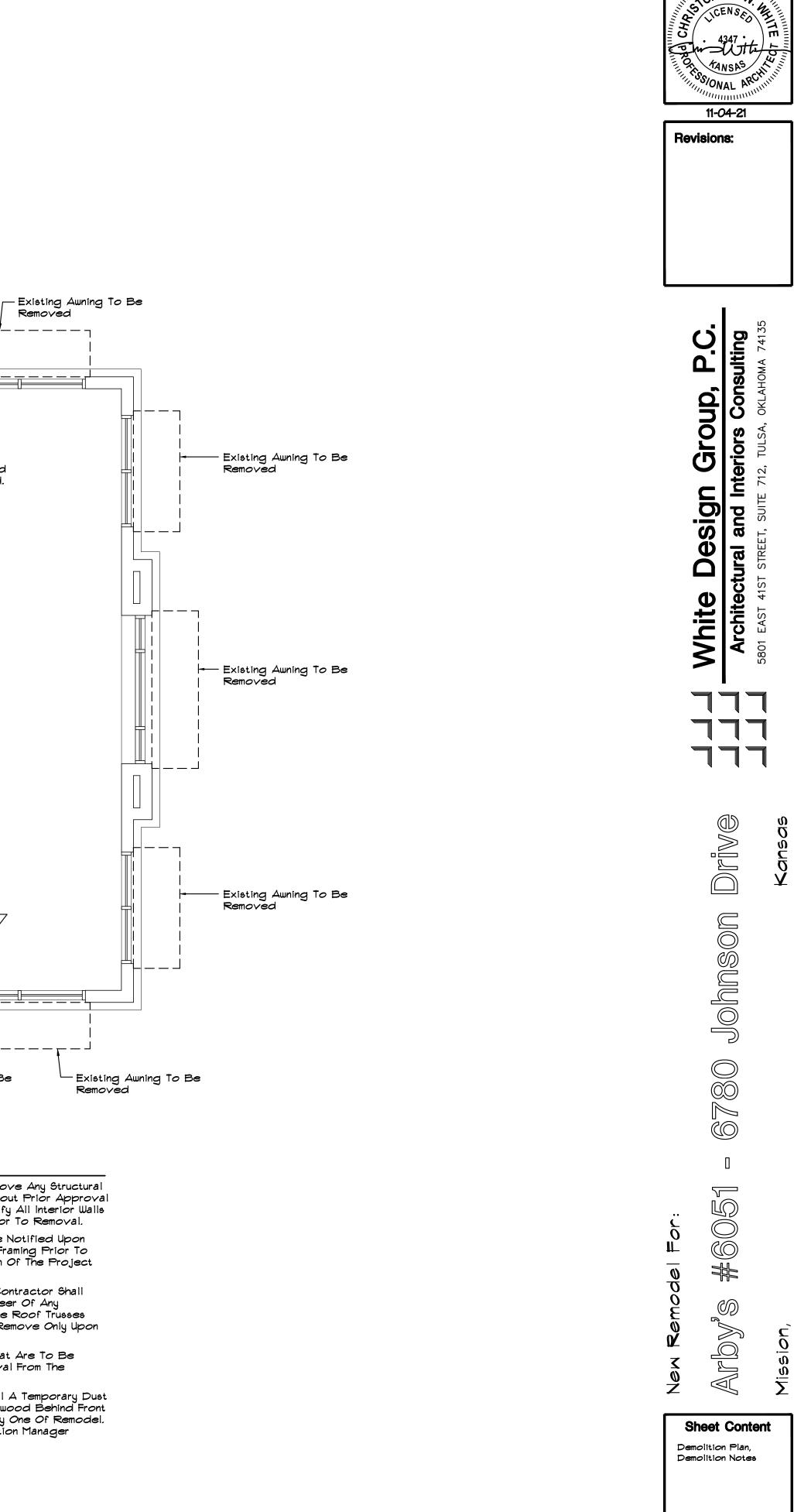
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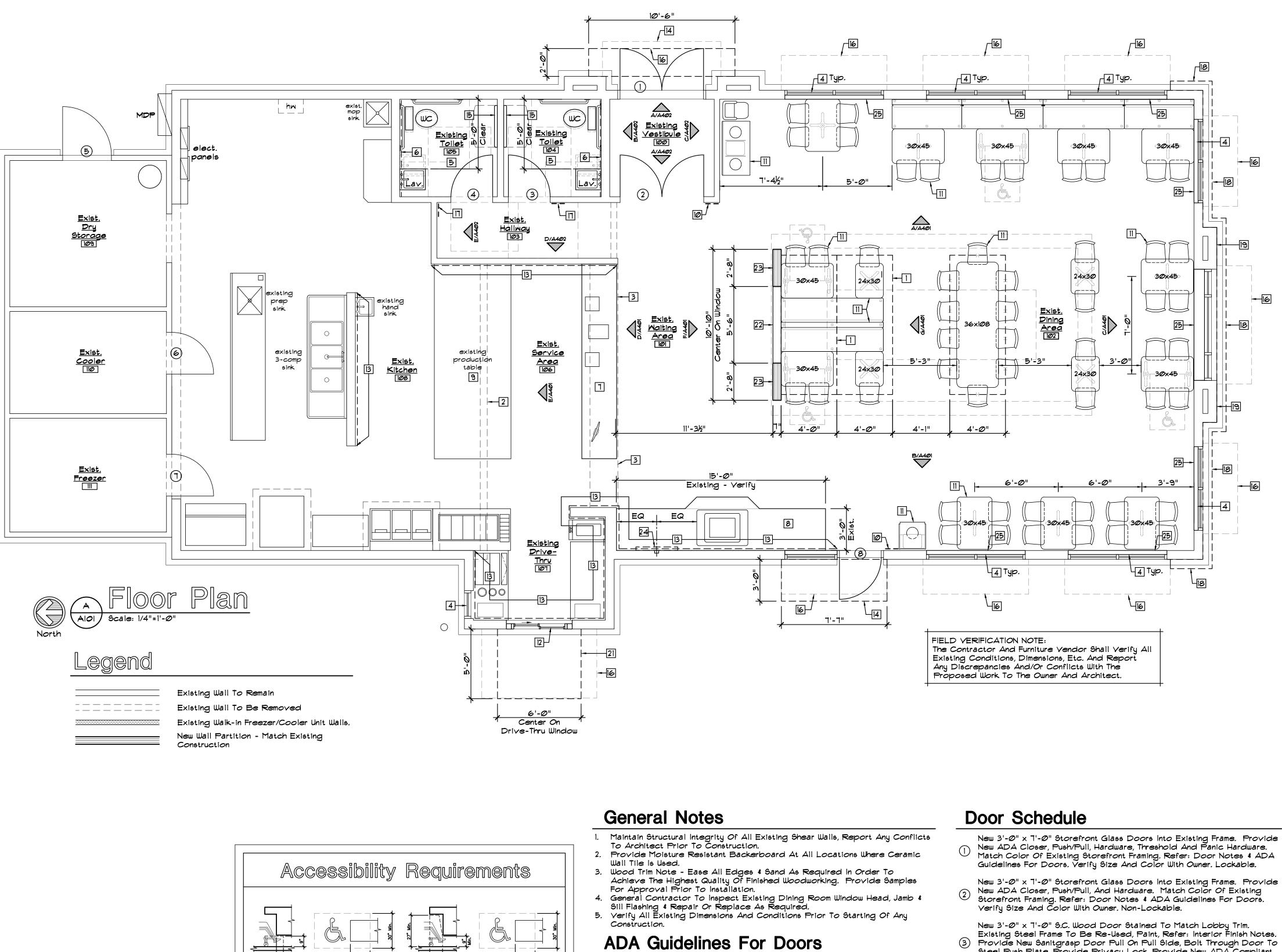


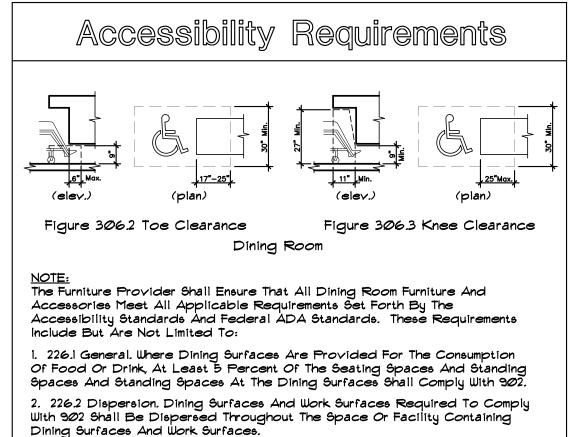
- 2. The Project Structural Engineer Shall Be Notified Upon Uncovering Of Any Potential Structural Framing Prior To Removal. Removal Only Upon Permission Of The Project Structural Engineer.
- 3. FIELD VERIFICATION REQUIRED The Contractor Shall Advise The Architect & Structural Engineer Of Any Structural Shear Walls That Extend To The Roof Trusses With Plywood Covering And Tie-Down. Remove Only Upon Approval From The Structural Engineer.
- 4. The Contractor Shall Verify Any Items That Are To Be Retained For The Owner Prior To Removal From The Site.
- 5. The Contractor Shall Provide And Install A Temporary Dust Wall, 2x4 Framed W/Gypsum Board Or Plywood Behind Front Service Counter, To Be Installed On Day One Of Remodel. Verify Wall Location W/Owner's Construction Manager Prior To Installation



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3. 902.2 Clear Floor Or Ground Space. A Clear Floor Space Complying With 305 Positioned For A Forward Approach Shall Be Provided. Knee And Toe Clearance Complying With 306 Shall Be Provided. The Tops Of Dining Surfaces Shall Be 28 Inches Minimum And

34 Inches Maximum Above The Finish Floor Or Ground.

5. The Condiment Counter And All Self Service Shelves And Dispensing Devises For Tableware, Dishware, Condiments, Food And Beverages Shall Be installed To Comply With ADA 308 Reach Range Requirements.

- Door Openings Shall Provide A Clear Width Of 32 Inches Minimum. Thresholds, If Provided At Doorways, Shall Be 1/2 Inch High, Maximum. Raised Thresholds & Changes In Level @ Doorways Shall Comply With
- ADA Standard Sections 302 303. Door Closers Shall Be Adjusted So That From An Open Position Of 90 Degrees, The Time Required To Move The Door To A Position Of 12
- Degrees From The Latch 1s 5 Seconds Minimum. 4. The Allowable Opening Force For Accessible Doors Shall Be 5 Pounds
- Maximum. 5. Provide 10" High Bottom Rail On All New Storefront Glass Doors.

Door Notes

- Contractor To Replace All ADA Closers & Thresholds On All Entry And Bathroom Doors. Verify ADA Compliance.
- Interior Signage Contractor To Install New Owner Provided Men, Women 4 Occupancy Signage. Restroom Signs To Be Mounted On The Latch Side Of Restroom Doors, Mounted 60 Inches To The Center Of The Signs From The Finished Floor.
- Repair And Reseal All Existing Exterior Door Thresholds, Provide New Weather Stripping As Required Provide Door Stops At All Exterior Doors To Prevent Damage.
- 5. The Contractor Shall Verify All Door Sizes Prior To Starting Construction. 6. The Contractor Shall Verify All Doors Indicated To Be Replaced With New,
- With Owner Prior To Purchasing. Contractor To Re-Use Existing Door Frames Where Possible. Verify Any Frames Needing To Be Replaced With Owners Construction Manager.

- Steel Push Plate. Provide Privacy Lock Provide New ADA Compliant Hardware,
- New 3'-0" x 7'-0" S.C. Wood Door Stained To Match Lobby Trim. Existing Steel Frame To Be Re-Used, Paint, Refer: Interior Finish Notes. 4 Provide New Sanitgrasp Door Pull On Pull Side, Bolt Through Door To Steel Push Plate. Provide Privacy Lock. Provide New ADA Compliant Hardware.
- Existing 3'-6" x 7'-0" Insulated Metal Door To Remain. Verify ADA 5 Closer & Threshold. Verify Existing Panic Hardware. Paint Exterior & Interior To Match Adjacent Surfaces.
- (6) Existing Prefabricated Cooler Door To Remain.
- (7) Existing Prefabricated Freezer Door To Remain.
- New 3'-0" x 7'-0" Storefront Glass Door Into Existing Frame. Provide 8 New ADA Closer, Push/Pull, Hardware, Threshold And Panic Hardware. Match Color Of Existing Storefront Framing. Refer: Door Notes # ADA Guidelines For Doors. Verify Size And Color With Owner. Lockable.
- Refer: To Hardware Schedule For Typical Door Hardware.



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Sheet Content

Floor Plan, Accessibilit

Requirements, Interior

Finish Notes, ADA

Door Notes, Door

Schedule, General

Verification Note

Sheet Number

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Date: 11-04-21

Notes, Field

Guidelines For Doors

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ating Frame, Provide ad Panic Hardware, Door Notes & ADA Dwner, Lockable,	

Interior Finish Notes

- Install Faux Ceramic Wainscot Panel Between New Base Tiles And Chair Rail On All Walls Throughout Public Areas. Provide Owner Supplied 'J' Trims Above Base Tile And Below Wainscot Chair Rail Trim, Typical
- Provide New Inspire Wall Coverings Per Interior Elevations.
 Provide New Inspire Floor & Base Tiles Throughout Dining Area And Restrooms. Refer: Interior Elevations & Floor Finish Plan.
- 4. Patch And Repair Wall And Floor Finishes As Required Throughout Kitchen.
- 5. Replace Existing Receptacles To Match Adjacent Surfaces Throughout Public Spaces As Required No White Outlets On Dark Surfaces.
- 6. The Contractor Shall Prepare Raised Window Sill For New Solid Surface Sill To Be Provided & Installed By Furniture Vendor In Public Areas Where Applicable. Refer: Interior Elevations.

Keynote Schedule

Mark Description

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New 4'x10' Prefabricated Soffit With Wood Plank Finish. Supplied And Installed By Furniture Vendor.

Existing Menuboards To Be Removed By Contractor. New Digital Menuboards To Be Installed By Owners Vendor. Contractor's Electrician To Provide Dedicated Circuit W/Continuous Power For Menuboards. Paint Existing Bulkhead Wall "White", Refer: Interior Elevations & Interior Finish Notes.

Existing Soffit To Remain, Paint, Refer: Interior Elevations. Existing Glazing Unit To Remain, Typical. Replace Broken Seal Units, Typical.

Existing Restroom Fixtures And Accessories To Remain, Clean And Service All Fixtures And Accessories. Refer: Restroom Details Sht. AlØ4, Verify w/Owner's Construction Manager, Typ.

Provide New Faux Red Subway Tile Panels On Wall At Indicated Locations. Refer: Interior Elevations.

Existing Service Counter To Be Modified. Remove Existing Countertop, Provide New Solid Surface Countertop - Provided And Installed By Furniture Vendor. Install Faux Subway Tile Over Existing Finishes. Refer: Section & Interior Elevations.

Existing Condiment Counter To Be Modified. Remove Existing Countertop, Provide New Solid Surface Countertop & Base Cabinet Laminate - Provided And Installed By Furniture Vendor. Refer: Interior Elevations.

Existing Production Table To Remain.

Provide ADA Compliant Exit Signage. Refer: Interior Elevs. New Tables And Settees Provided And Installed By Furniture

Vendor. New Chairs And Barstools To Be Provided By Owner, Installed By Contractor.

New Drive Thru Service Window Into Existing Opening, Provided By Owner, Installed By Contractor. Refer: Building Elevations And Drive Thru Service Window Note.

Contractor To Install Owner Provided White Faux Tile Panels Over Existing Wall Finish Where Indicated.

New Prefabricated Canopy. Provided And Installed By Canopy Manufacturer. Contractor To Provide New Support Blocking And Coordinate Installation.

New Accessible Baby Changing Station Provided By Owner, Installed By Contractor. Refer To Interior Elevations And Restroom Details.

Line Of Existing Backlit Awning To Be Removed.

Provide ADA Compliant Signage, Refer: Interior Elevations. Line Of New 2'-0"H. Prefabricated Metal Signage Band, Red.

Provided And Installed By Signage Vendor. Contractor To Coordinate Installation.

Provide New E.I.F.S. Texture/Finish W/Brick Stencil Pattern, Color *1, Over Existing E.I.F.S. Refer: Building Elevations And Wall Sections.

Existing Soffit To Be Modified, Paint, Refer: Interior Elevations. Verify Clearance Requirements For Soda Machine Ice Maker, Verify With Owner's Construction Manager.

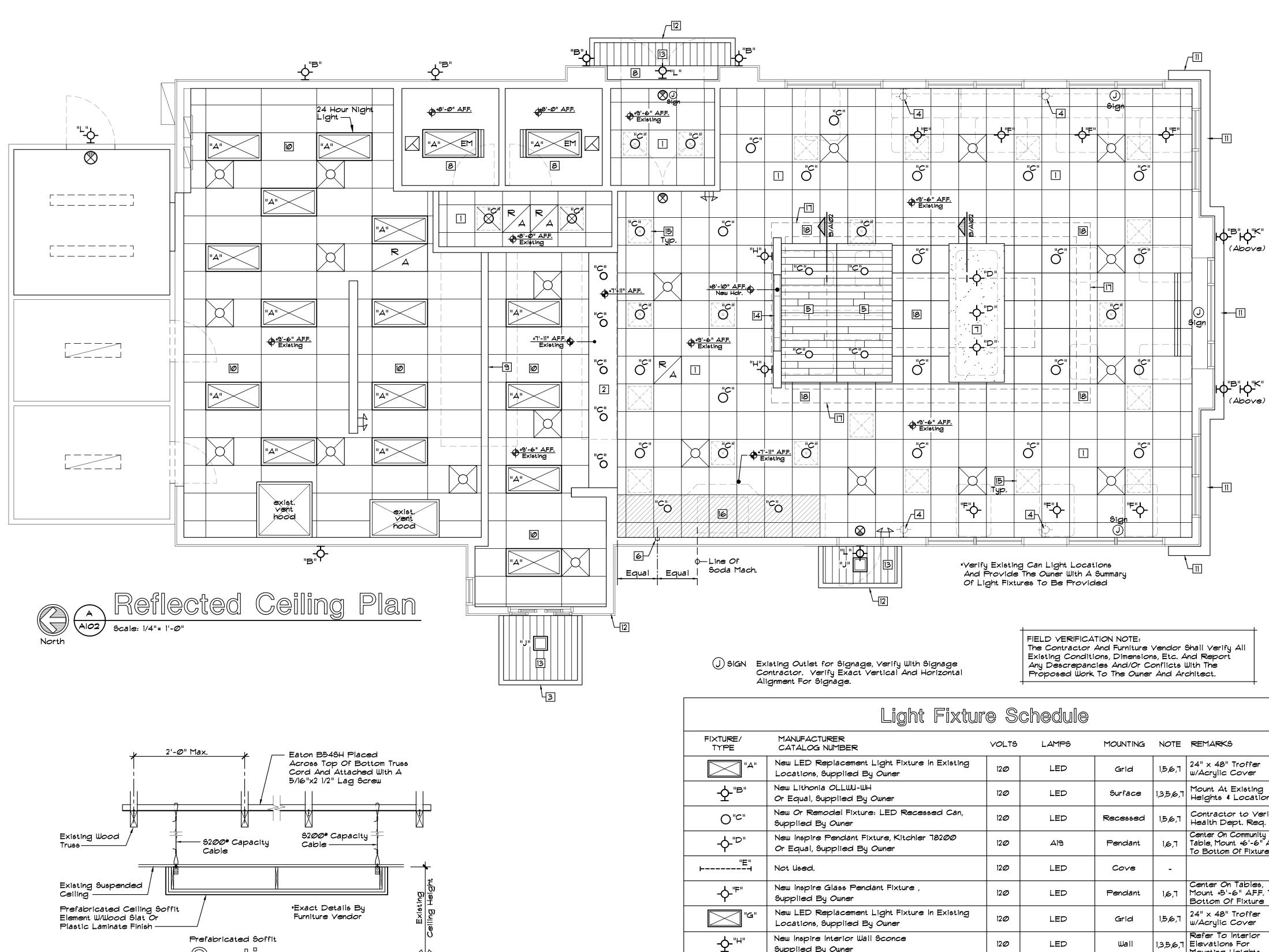
New 2'-@"H. Prefab. Drive-Thru Canopy, Red. Provided 🕴 Installed By Canopy Manufacturer. Contractor To Provide New Support Blocking & Coordinate Installation.

New Divider Half Wall To 4'-0" A.F.F., 2x4 Wood Studs @ 16"o.c., Provide In Wall Steel Supports As Required. Provide Wood Plank Cladding, Refer: Interior Elevations.

Existing Divider Wall To Ceiling To Be Modified. Provide Wood Plank Cladding, Refer: Interior Elevations.

New Arbys 36"H. Carousel 'A' Sign. Contractor To Provide New Electrical. Verify Location w/Owner. Center Between Soda Machine And Wall, And Center Vertically Between The Top Of Condiment Counter & Bottom Of Existing Gypsum Board Soffit

New Solid Surface Window Sill, Provided And Installed By Furniture Vendor. Contractor To Coordinate Installation. Refer: Interior Finish Notes.



FIXTURE/ TYPE	MANUFACTURER CATALOG NUMBER	VOLTS	LAMPS	MOUNTING	NOTE	REMARKS
Δ"	New LED Replacement Light Fixture in Existing Locations, Supplied By Owner	12Ø	LED	Grid	1,5,6,7	24" x 48" Troffer w/Acrylic Cover
- <u></u>	New Lithonia OLLWU-WH Or Equal, Supplied By Owner	12Ø	LED	Surface	1,3,5,6,7	Mount At Existing Heights & Locations.
O"c"	New Or Remodel Fixture: LED Recessed Can, Supplied By Owner	12Ø	LED	Recessed	1,5,6,7	Contractor to Verify Health Dept. Req.
		12Ø	Alg	Pendant	1,6,7	Center On Community Table, Mount +6'-6" A.F.F To Bottom Of Fixture
"E" F4	Not Used.	12Ø	LED	Cove	-	
-ф-"≓"	New Inspire Glass Pendant Fixture , Supplied By Owner	12Ø	LED	Pendant	1,6,7	Center On Tables, Mount +5'-6" A.F.F. To Bottom Of Fixture
"G"	New LED Replacement Light Fixture in Existing Locations, Supplied By Owner	12Ø	LED	Grid	1,5,6,7	24" x 48" Troffer w/Acrylic Cover
- 仝 -"H"	New Inspire Interior Wall Sconce Supplied By Owner	12Ø	LED	Wali	1,3,5,6,7	Mounting Heights
"ر"	New LED Canopy Light, Supplied By Canopy Mfr.	12Ø	LED	Surface	1,3	Provide Emergency Battery Backup At Egress Door Canopie
<u>-</u> ∲- "<"	New RAB Lighting Slimi2W-White Wall Mounted Light Fixture - Up Only	12Ø	LED	Wall	1,3,5,6,7	Refer To Elevations For Heights & Locs.
- 仝 - "L"	New Emergency Egress Light Fixture, Nora NE-902LED Or Equal, Supplied By Owner	12Ø	LED	Wall	1,2,3,6	Emergency Battery Backup
4	Existing Emergency Light To Be Replaced, Juno NiL-WH Or Equal, Supplied By Owner	12Ø	LED	Surface	1,2,6	Emer. 12V batt. w/time delay option. Verify mtg. heights w/ Arch.
\bigotimes	Existing Exit Light To Be Replaced, Juno NXPCL3GWH Or Equal, Supplied By Owner	12Ø	LED	Ceiling Mount	1,2,6,7	Red Letters on White panel. Emer. Power

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Frovide Flange Rit when installed in a Gypsull Doard of Arg Hard Centing And Verify with Owner The Guartity And Loc
 Verify Size Of Fixture And Replace With Similar, Owner To Approve Replacement Fixture Prior To Ordering.
 <u>All Lighting Fixtures/Lamps/Accessories Are Supplied By Owner And Installed By Contractor.</u>
 <u>All Lighting Fixtures In Public Spaces Shall Be The Same Lumens And Color Temperature (K), Verify With Owner.</u>
 Provide Protective Lens For Can Lights Located Over Foodservice Areas As Required By The Health Department.
 Center All Pendants On Table Tops Where Indicated.

10. Pendants Shall Be Mounted At 5'-6"A.F.F. Over Standard Ht. Tables And 6'-6" A.F.F. Over Barstool Height Tables.



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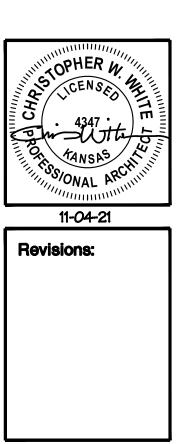
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Scale: 1"="

Supply Air Diffuser

Return Air Diffuser

Exhaust Fan



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: ure Vendor Shall Verify All sions, Etc. And Report r Conflicts With The	_

Emergency Illumination Note

The Contractor Shall Provide Emergency Lights And Ballasts To Ensure I Footcandle Measured At The Floor For All Exit Access Passageways, And At Exterior Of All Egress Doorways. The Emergency Power System Shall Provide Power For A Duration Of Not Less Than 90 Minutes.

General Notes

- The Contractor Shall Verify All Switching Types, Circuiting Requirements And Switching Locations With Owner.
 All Lighting Fixtures To Be Provided By Owner, Installed By Contractor.

- by Contractor.
 3. The Contractor Shall Coordinate The Installation Of Owner Provided New Speakers In The Public Area Ceilings. Confirm With Owner.
 4. The Contractor Shall Coordinate The Installation Of Owner Provided New Building Signage. Relocate Or Provide J-Box And/Or Plywood Backing, Etc. As Required Required.
- Clean All Diffusers And Returns Prior To Painting.
 Relocate Any Existing Diffusers/Returns That Are In The Same Location As New Prefabricated Soffits.
- Light Fixtures That Protrude 4" Or More From The Wall Surface At The Base Of The Wall Shall Be Mounted 1' High Or Have The Walking Surface Below Restricted To Prevent Non-Compliance With ADA Protruding Objects
- Requirements. 8. Replace Existing Public Space 2x2 Light Fixtures With
 New LED Recessed Can Fixtures. Verify Lighting
 Distribution With Owner - Add Or Relocated Fixtures As
- Owner Directs. Refer: Light Fixture Schedule. 9. All Ceilings Over Foodservice Preparation Areas Shall Meet Local Health Department Requirements For

Keynote Schedule

Refl Soff Fixtu Emen Note	New Remodel For:	
heet ected it Det rgency z, Gene d Verif	Malanda 40024 6700 10000 000	ノーノー White Design Group,
Ceilir ail, Lig neclule Illumir eral No	MINNS #0001 - 0100 MOIIISOII FINE	Architectural and Interiors Cons
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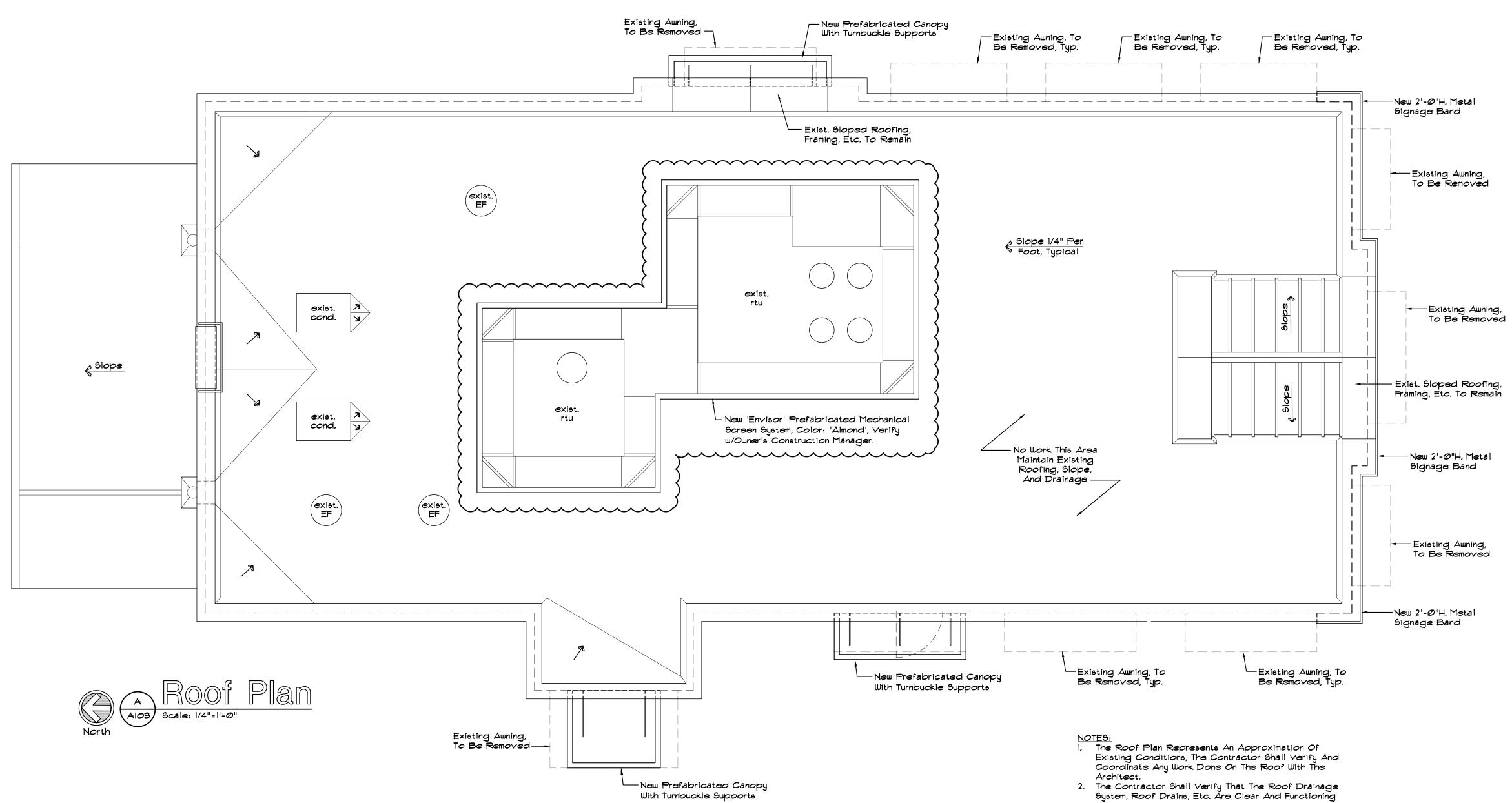
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Washability, Light Reflectance, Etc.

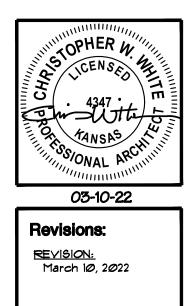
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]	Existing Suspended Ceiling Grid To Remain, Extend And Modify As Required, Paint To Match Armstrong #132 'Adobe' Tiles. Provide New Armstrong #132 Fine Fissured Angled Tegular Ceiling Tiles, Color: 'Adobe'. Provide Alternate Pricing For Existing Ceiling Tiles To Remain, Patch, Repair And Paint To Match Color: 'Adobe', Verify With Owner. Install New Owner Provided Speakers At Existing Locations.
	Existing Gypsum Board Soffit To Remain, Paint Red. Refer: Interior Finish Schedule.
5	New 2'-0"H. Prefab. Drive-Thru Canopy, Red. Provided \$ Installed By Canopy Manufacturer. Contractor To Provide New Support Blocking \$ Coordinate Installation.
.]	Existing Decorative Wall Sconce Light Fixture Or Pendant Fixture To Be Removed. Patch & Repair Finishes As Required.
2	New 4'x10' Prefabricated Soffit Element With Wood Plank Finish, Stained. Supplied And Installed By Seating Vendor. Mount To Ceiling Using All-Thread To Existing Roof Trusses, Typical.
2	Provide New Electrical Power To New 'A' Sign Above Condiment Counter On Back Wall. Center Between Soda Machine And Wall, And Center Vertically From The Top Of Condiment Counter And Ceiling.
	New 4'x10' Prefabricated Soffit Element With Plastic Laminate Finish, Red. Supplied By Owner, Installed By Seating Vendor. Mount To Ceiling Using All-Thread To Existing Roof Trusses, Typical.
5	Existing Gypsum Board Ceiling To Remain, Patch, Repair And Paint. Refer: Interior Finish Notes.
5]	Existing Menuboards To Be Removed By GC. New Digital Menuboards To Be Installed By Owners Vendor. Contractor's Electrician To Provide Separate Circuit W/Continuous Power For Menuboards. Center J-Box & Data On Bulkhead Wall. Paint, Ref: Int. Finish Schedule.
2	Existing Kitchen Ceiling Tile & Grid To Remain. Patch And Repair As Required.
	Prefabricated Color Band Element, Provided & Installed By Signage Contractor, Coordinated By Contractor.
2]	New 2'-0"H. Prefab. Entry Canopy, Red. Provided & Installed By Canopy Manufacturer. Contractor To Provide New Support Blocking & Coordinate Installation.
3	New Metal Soffit Panels By Canopy Supplier.
6	New Header At Divider Wall W/Wood Plank Finish.
5	Existing 2x2 Troffer Fixture To Be Replaced With LED Can, Typical In Dining Area. Refer: Light Fixture Sched.
2	Provide New Vinyl Faced Gypsum Ceiling Tiles In Existing Grid With New Recessed Can Lights.
1	Existing Gypsum Board Soffit To Be Removed, Patch, Repair And Replace Ceiling Tile And Grid With New To Existing/New Adobe Color Tile And Grid.
3	New Suspended Ceiling Grid To Match Existing, Paint To Match Armstrong #1732 'Adobe' Tiles. Provide New Armstrong #1732 Fine Fissured Angled Tegular Ceiling Tiles, Color: 'Adobe'.





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Sheet Content Roof Plan, General Notes, Prefabricated Canopy Notes

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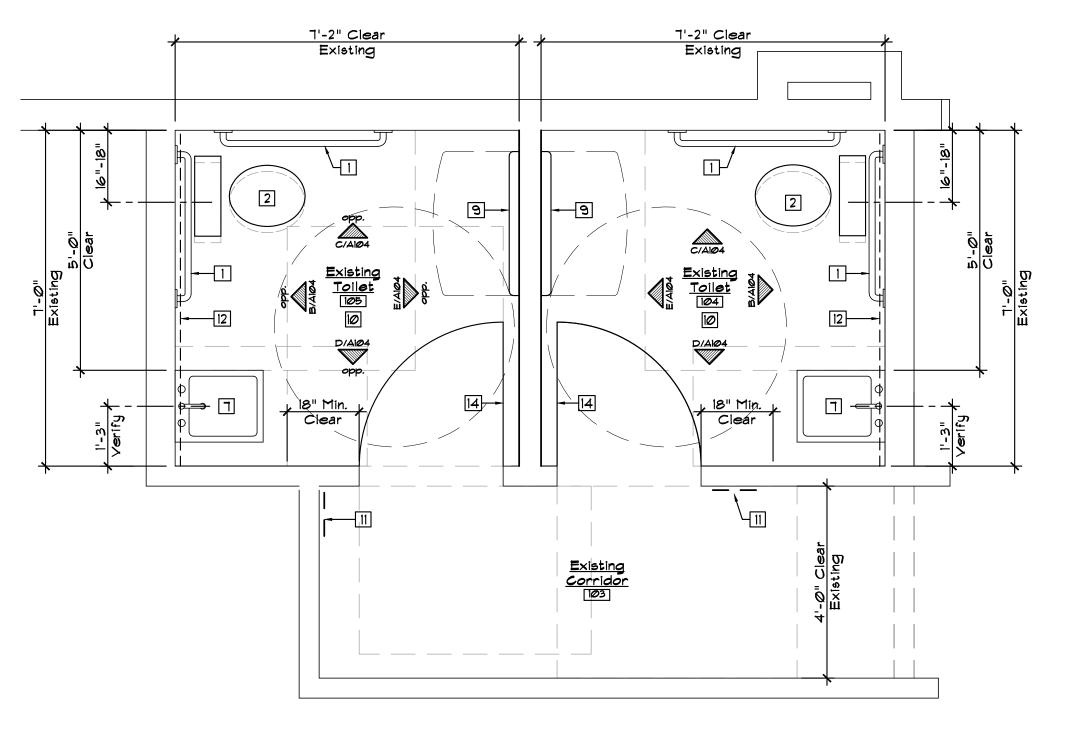
PREFABRICATED CANOPY NOTES

The Prefabricated Canopy Manufacturer Shall Be Responsible For The Proper Design & Engineering Required For The Construction And Installation Of The Canopies. The Canopy Manufacturer Shall Provide Fully Engineered Connection Details Sealed And Signed By A Structural Engineer Licensed And In Good Standing In The State That The Project Is Located. The Design Documents Shall Indicate The Existing Conditions Accurately And Be Submitted To The Building Official, Architect, And Owner Prior To Starting Of Any Construction. Construction.

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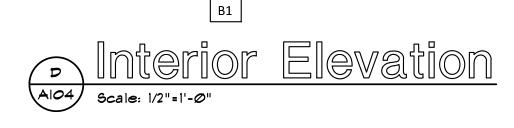
A Plan Detail Alo4 Scale: 1/2"=1'-@"

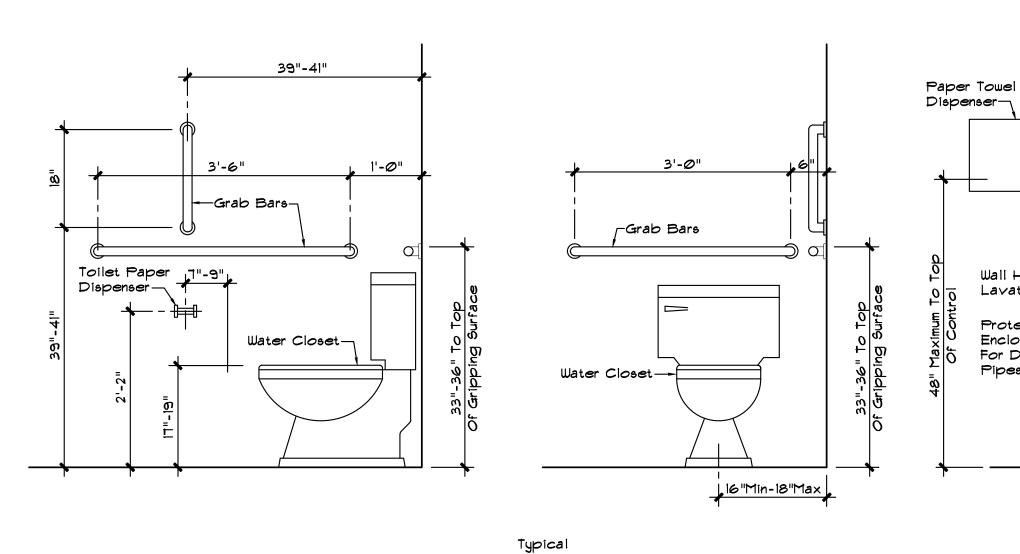
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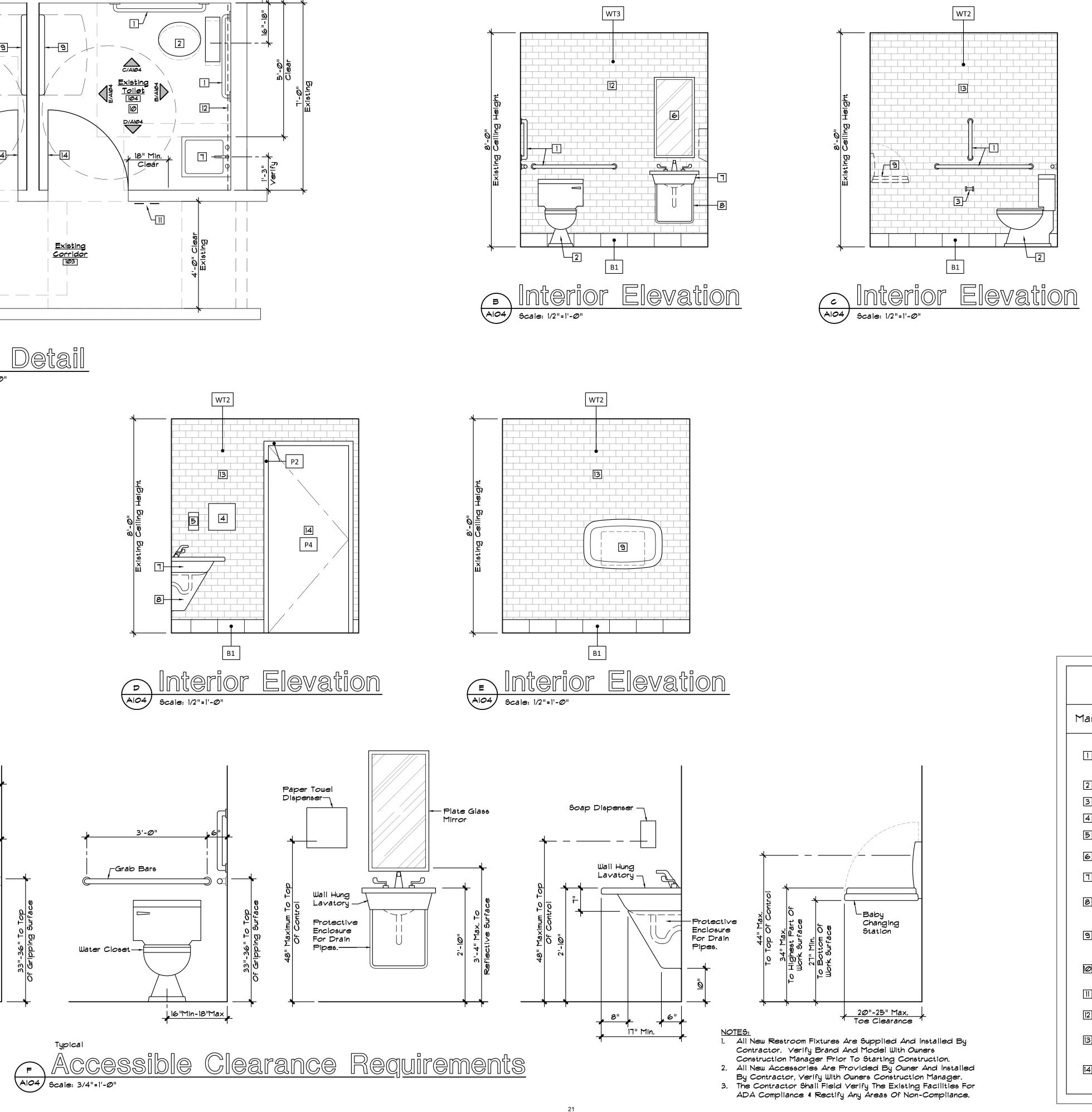
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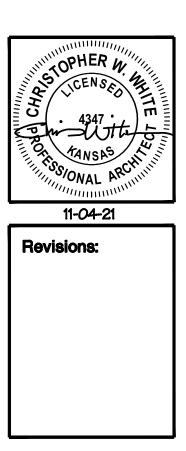
Lavatory

Pipes.—









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	Keynote Schedule		
Mark	Description]
	Existing Grab Bars To Be Reused, Verify 1 1/2" Diameter Bars Mounted 1 1/2" Out From Wall Surface. Contractor To Verify Or Provide Adequate Blocking And Connection To Support 250 Ibs Of Force.		\square
2	Existing Water Closet To Remain, Verify ADA Compliance.		<i>></i>
3	Existing Toilet Paper Dispenser To Remain, Verify W/Owner.		
4	Existing Paper Towel Dispenser To Remain, Verify W/Owner.	σ	_
Б	Existing Soap Dispenser To Remain, Verify W/Owner.	S S S S S S S S S S S S S S S S S S S	0 V
۵	Existing Plate Glass Mirror, Verify Mounting Indicated To The Reflective Surface Of The Mirror. Verify ADA Compliance.	N C	Mission
Г	Existing Wall Hung ADA Lavatory To Remain, Verify W/Owner.	Nev Nev	
8	New ADA Compliant Lavatory Protective Enclosure For Drain Pipes. LAV SHIELD - Mdl.#2018, Or Pre-cut Mdl. As Applicable. Supplied And Installed By Contractor.		S ∠ Content
9	New Accessible Baby Changing Station Provided By Owner, Installed By Contractor. Refer: Manufacturer's Mounting Instructions.	Restroom F Interior Ele Typical Acc	Plan Detail, vations,
Ø	Existing Restroom Fixtures And Accessories To Remain, Clean And Service All Fixtures And Accessories, Verify w/Owner's Construction Manager, Typical.	Clearance Requirements, Notes	
11	Provide New ADA Compliant Signage.		
[12]	Provide New Faux Red Subway Tile Panels - WT3 On Wall. Refer: Interior Finish Schedule.		
13	Provide New Faux White Subway Tile Panels - WT2 On Wall. Refer: Interior Finish Schedule.	Sheet I	Number
[4]	New 3'-@" x 7'-@" S.C. Wood Door Stained To Match Lobby Trim. Re-Use Existing Frame, Paint, Color To Match Lobby Trim. Refer: Door Schedule & Hardware Schedule.	A1	04

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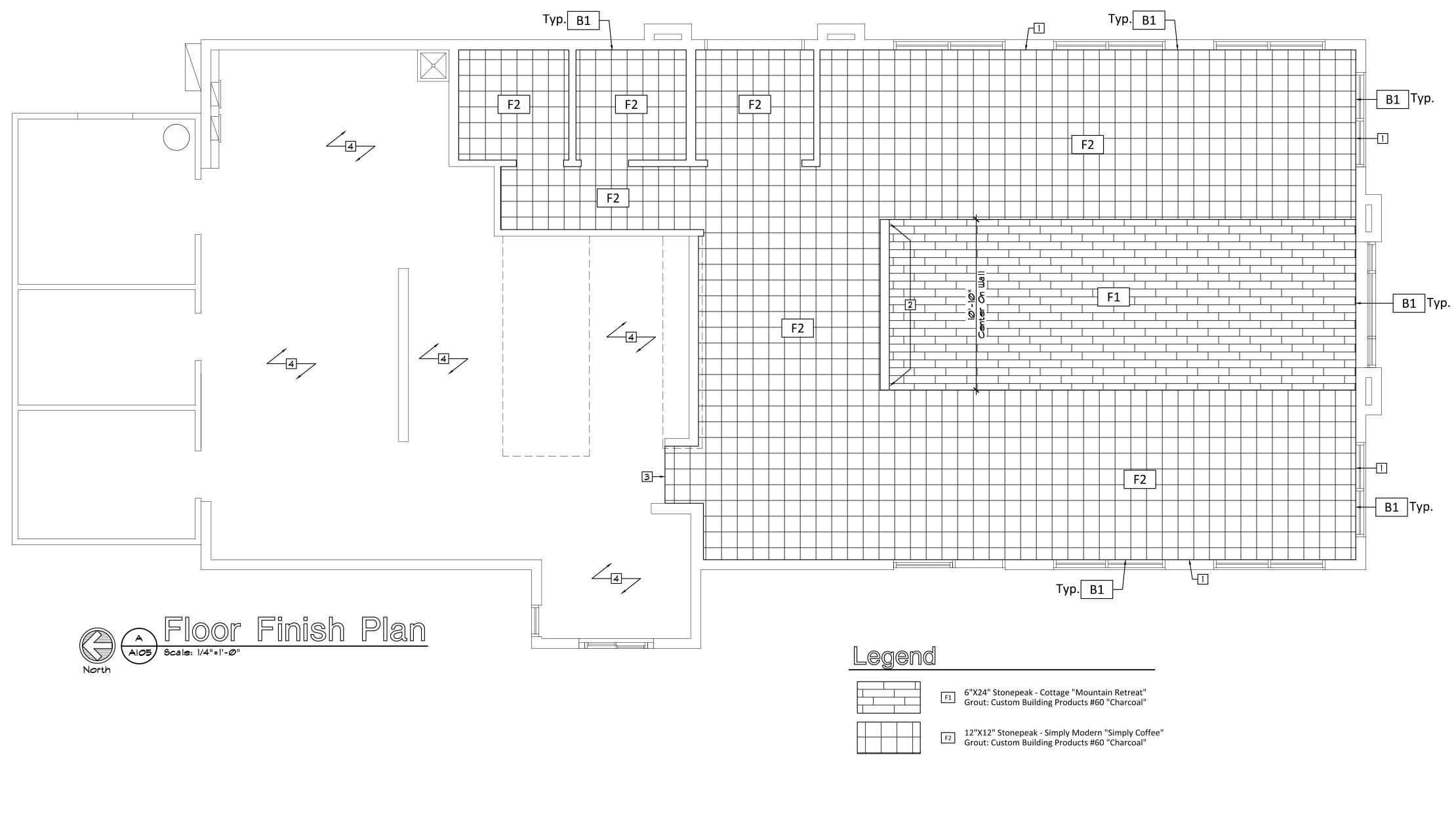
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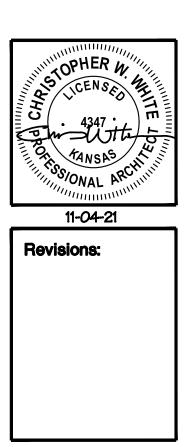
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Floor Finish Schedule					
FLOORS					
F1	6"X24" Stonepeak - Cottage "Mountain Retreat" Grout: 1/8", Custom Building Products #60 "Charcoal"	Dining Room Accent			
F2	F2 12"X12" Stonepeak - Simply Modern "Simply Coffee" Grout: 1/8", Custom Building Products #60 "Charcoal" Dining Room Field, Restroor				
BASE					
B1 6"X12" Stonepeak - Simply Modern "Simply Coffee" Grout: 1/8", Custom Building Products #60 "Charcoal" (Base Tile Is 'F2' 12"x12" Tile Cut In Half) Dining Room, Restrooms					
NOTES All Tile Shall Be Installed Per ANSI Documented Tile Industry Standards For Commercial Installations.					





JJJ White Design A Architectural and Inte 5801 EAST 41ST STREET, SUITE 712

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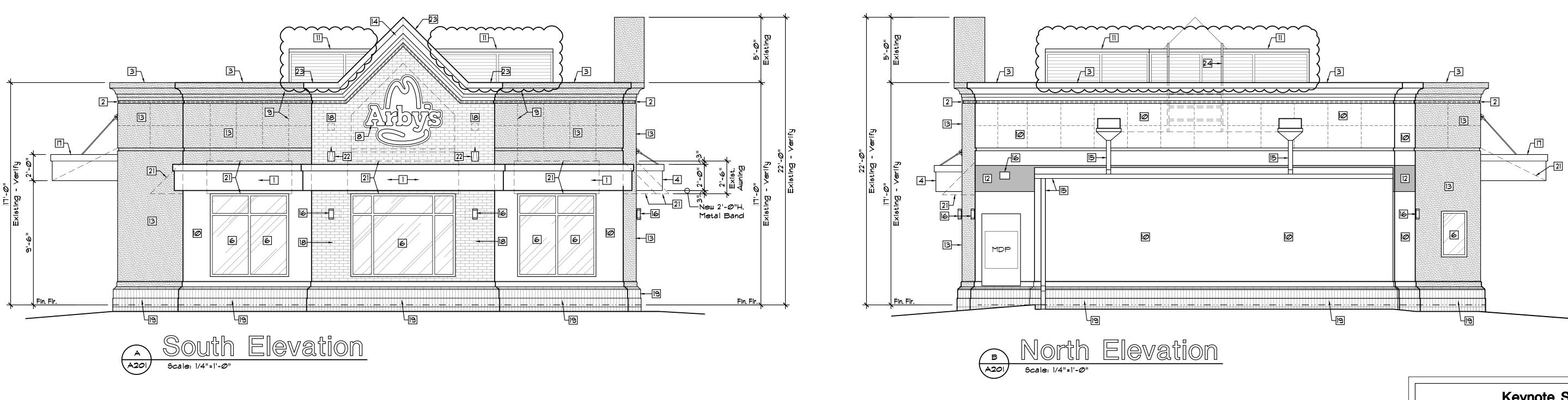
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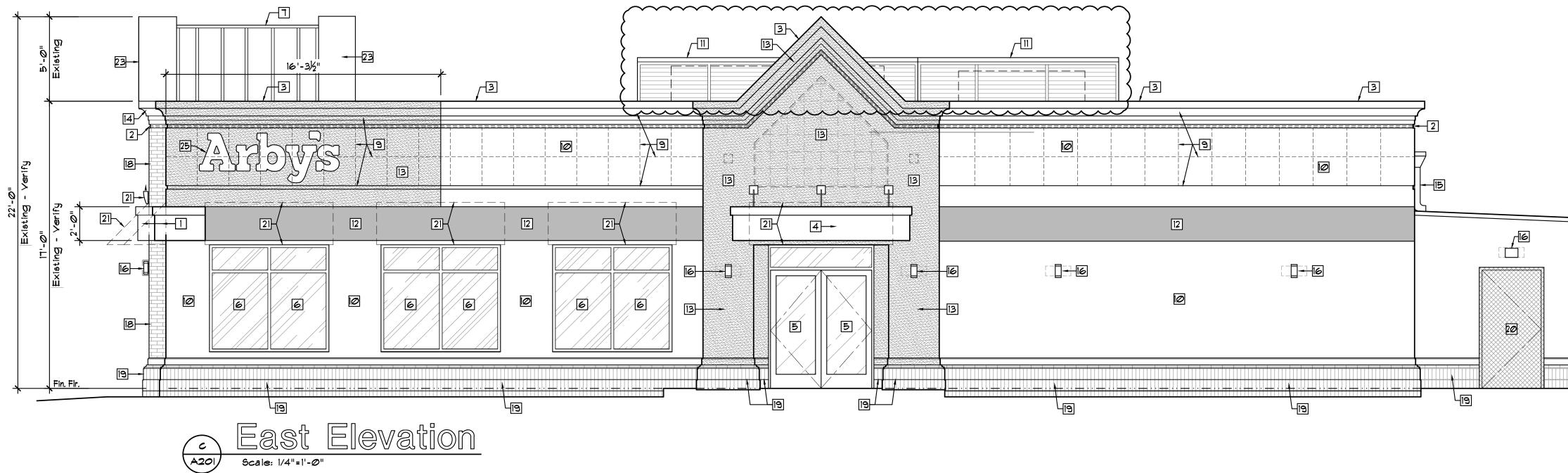
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General Notes

- The Contractor Shall Not Perform Any Structural Demolition Prior To Field Verification From The Structural Engineer.
- 2. These Drawings Represent An Approximation Of Existing Conditions. The Contractor Shall Notify The Architect Of Any Discrepancies Immediately Upon Uncovering Of The Existing Structural Conditions.
- 3. All Exterior Surfaces Shall Be Cleaned, Patched, Repaired As Required And Prepared To Receive New Paint Per Drawings And Utilizing Arby's Paint Specifications.
- 4. The Contractor Shall Provide Blocking For Signage As Directed By Suppliers.
- 5. The Contractor Shall Provide All Flashing, Assemblies, Details, Etc.
- 6. Verify And Maintain All Existing Roof Drain/Downspout Assemblies.
- The Contractor Shall Provide All Necessary Details As Required By The E.I.F.S. Manufacturer In Order To Maintain The Warranty. Provide All Backer Rods, Sealant Locations, Flashing Minimum Coverages, Etc.
- Provide Dryvit E.I.F.S. System Or Approved Equal, System To Have A Water Management System With Appropriate Details. The E.I.F.S. Application Shall Be Installed Over A Water-Resistive Barrier Complying W/ASTM E2570, With A Means Of Draining Moisture To The Exterior. Provide Submittal With Proposed System And Details Indicated. All E.I.F.S. Work Shall Be Performed Per Manufacturers Requirements To Maintain Warranty.
- 9. The Contractor Shall Review All New E.I.F.S., Paint & Coping Cap Colors And Their Locations With The Owners Construction Manager Prior To Proceeding With The Work
- 10. Exterior Light Fixtures That Protrude 4" Or More From The Wall Surface At The Base Of The Wall Shall Be Mounted 7' High Or Have The Wallking Surface Below Restricted To Prevent Non-Compliance With ADA Protruding Objects Requirements.



Signage Notes

- All Signage Work Shall Be Performed Under A Separate Permit.
- Manager.

Paint Legend

PAINT COLOR #1 Sherwin Williams To Match Dryvit #462 "Almond". Satin Finish, Prepare And Prime As Required. luuuuuuuuuuuuuuuuuuuuuuu PAINT COLOR #2 Sherwin Williams #2808 "Rookwood Dark Brown". Satin Finish. Prepare & Prime As Required.

PAINT COLOR #3 Sherwin Williams #6869 "Stop". Satin Finish. Prepare & Prime As Required.

PAINT COLOR #4

Sherwin Williams #7024 "Functional Gray". Satin Finish. Prepare & Prime As Required.

EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.) W/SIM. BRICK PATTERN, COLOR #1 - FRONT TOWER Simulated Brick Stencil Pattern W/Dryvit 23Pt. 1/2" 'Brooklyn Brick' Template - Field Color: Dryvit #462 "Almond". Grout Color: #ARBY111009, NCB. Metal Coping: Color #3. EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.)

COLOR #1 Dryvit - Color: #462 "Almond" Sandblast Texture. Coping Color #1.

····· EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.)

COLOR #2 Drvvit - Color: To Match Sherwin Williams #2808

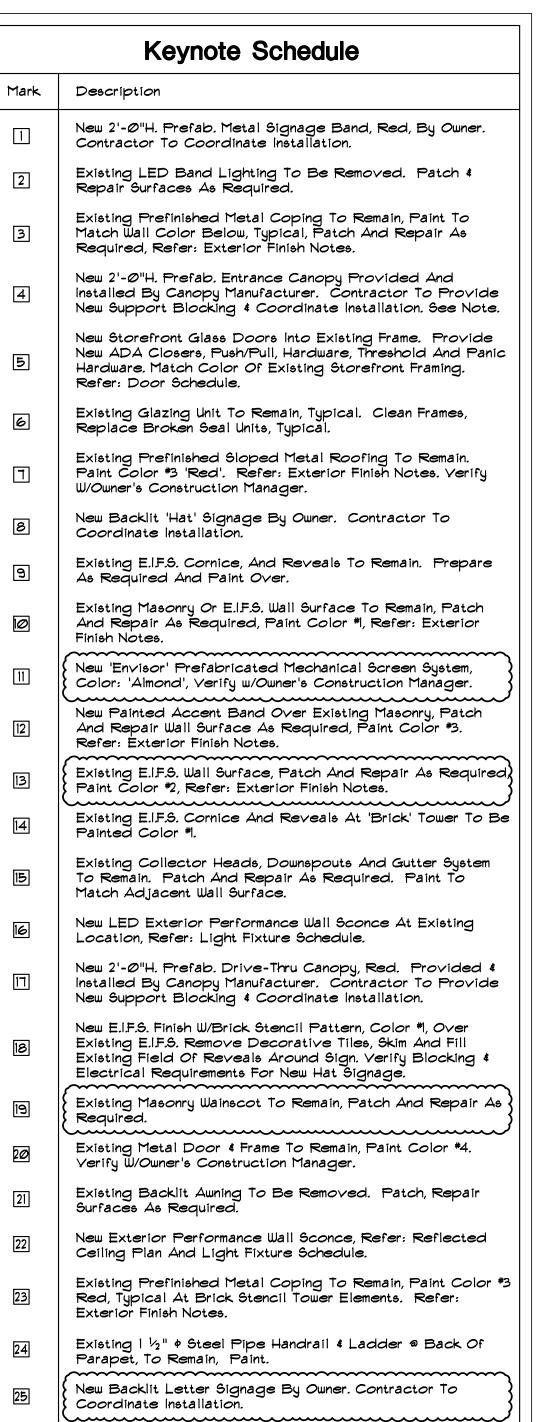
"Rookwood Dark Brown". Sandblast Texture. Coping Color #2.

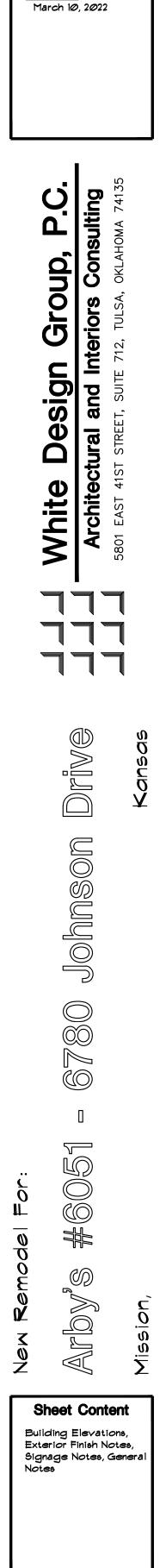
Exterior Finish Notes PAINT COLOR #1

Sherwin Williams To Match E.I.F.S. Color #1 Dryvit #462 "Almond". Satin Finish, Prepare And Prime As Required. PAINT COLOR #2 Sherwin Williams #2808 "Rookwood Dark Brown". Satin Finish. Prepare & Prime As Required. PAINT COLOR #3

PAINT COLOR #4 Sherwin Williams #7024 "Functional Gray".

Sherwin Williams #6869 "Stop". Satin Finish. Prepare & Prime As Required.





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03-10-22

Revisions:

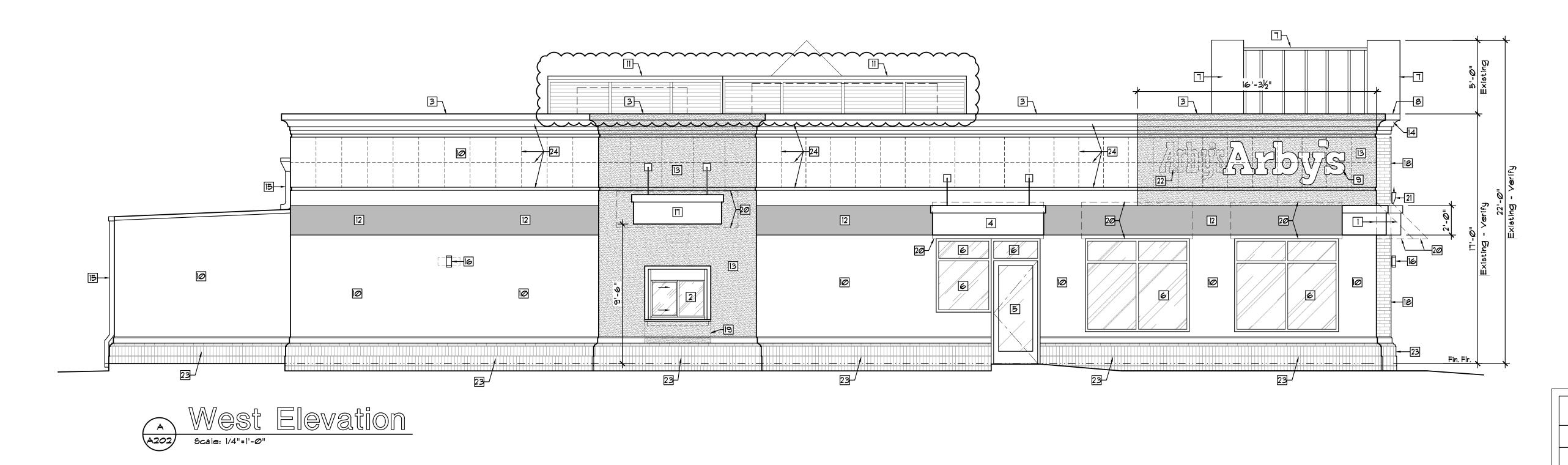
<u>REVISION:</u>



-115

All Signage Work Shall be Performed Under A Separate Permit.
 Signage Vendor To Verify Local Signage Ordinances Or Restrictions With Owner Prior To Starting Work.
 Contractor To Provide New Plywood Backing And Support Blocking As Required For Mounting Of Signage. Coordinate Installation With Signage Vendor And Owner's Construction

Stain Finish. Prepare & Prime As Required. PREFABRICATED 2'-0" HIGH COLOR BAND Color: Prefinished Metal, Red. Provided By Signage Manufacturer.



	Substrate(s)	Sherwin Williams (SW) Product	Remarks		Substrate(s)	Sherwin Williams (SW) Product	Remarks
PAINT COLOR #1			PAINT COLOR #3	E.I.F.S. (Dryvit),	Primer: Loxon Acrylic Concrete & Masonry Primer / Sealer,LX02W0050* Finish: Pro Industrial DTM Acrylic Gloss, B66- 1050 Series NOTE: Apply SherClear 1K Acrylic Clear Coat for additional UV protection, B66C Series	Use at least two coats of finish. May require 3-4 coats to get proper coverage. Primer tinted to SW P1.	
Sherwin Williams To Match Dryvit #310 "China White"	stucco; concrete block, cementitious material, Hardi- Panel Prefinished	Primer / Sealer, LX02W0050* Finish: A100 Acrylic Satin, A82W51 Option: Loxon Self Cleaning Acrylic, Flat, LX13 Series Primer: Bond-Plex Waterbased Acrylic Coating,	Primer tinted to SW SW #6869, "Stop" P1.	stucco; concrete block, cementitious material, Hardi- Panel			
	metal or factory primed Wood	B71-200 Finish: Pro Industrial DTM Acrylic EgShel, B66-1250 Series Primer: A-100 Exterior Latex Primer B42W08041 Finish: A100 Acrylic Satin, A82W51				Primer: Bond-Plex Waterbased Acrylic Coating, B71-200 Finish: Pro Industrial DTM Acrylic Gloss, B66- 1050 Series NOTE: Apply SherClear 1K Acrylic Clear Coat for additional UV protection, B66C Series	
PAINT COLOR #2E.I.F.S. (Dryvit), stucco; concrete block, cementitious Brown"Primer: Loxon Acrylic Concrete & Masonry Primer / Sealer, LX02W0050*SW #2808, "Rookwood Dark Brown"concrete block, cementitious material, Hardi- PanelFinish: A100 Exterior Acrylic Satin, A82W151 Series Option: Loxon Self Cleaning, Flat, LX13 Series	Use at least two coats of finish. Primer tinted to SW P2.	V	Wood	Primer: A-100 Exterior Latex Primer B42W08041 Finish: Pro Industrial DTM Acrylic Gloss, B66- 1050 Series NOTE: Apply SherClear 1K Acrylic Clear Coat for additional UV protection, B66C Series			
	Prefinished metal or factory primed	Primer: Bond-Plex Waterbased Acrylic Coating, B71-200 Finish: Pro Industrial DTM Acrylic EgShel, B66-1250 Series Primer: Exterior Latex Wood Primer				Prefinished aluminum; aluminum storefront; galvanized	Primer: Bond-Plex Waterbased Acrylic Coating, B71-200 Finish: Pro Industrial DTM Acrylic Gloss, B66- 1050 Series NOTE: Apply SherClear 1K Acrylic Clear Coat for additional UV protection, B66C Series
		Finish: A100 Acrylic Satin, A82W151 Series			E.I.F.S. (Dryvit),	Primer: Loxon Acrylic Concrete & Masonry	Use at least two
				SW #7024, "Functional Gray"	stucco; concrete block, cementitious material, Hardi- Panel Prefinished metal or factory primed Wood	Primer / Sealer, LX02W0050* Finish: A100 Exterior Acrylic Satin, A82W151 Series Option: Loxon Self Cleaning, Flat, LX13 Series Primer: Bond-Plex Waterbased Acrylic Coating, B71-200 Finish: Pro Industrial DTM Acrylic EgShel, B66- 1250 Series Primer: Exterior Latex Wood Primer	coats of finish.
					Wood	Primer: Exterior Latex Wood Primer B24W08041 Finish: A100 Acrylic Satin, A82W151	

Signage Notes

- All Signage Work Shall Be Performed Under A Separate Permit.
 Signage Vendor To Verify Local Signage Ordinances Or Restrictions With Owner Prior To Starting Work.
- 3. Contractor To Provide New Plywood Backing And Support Blocking As Required For Mounting Of Signage. Coordinate Installation With Signage Vendor And Owner's Construction Manager.

General Notes

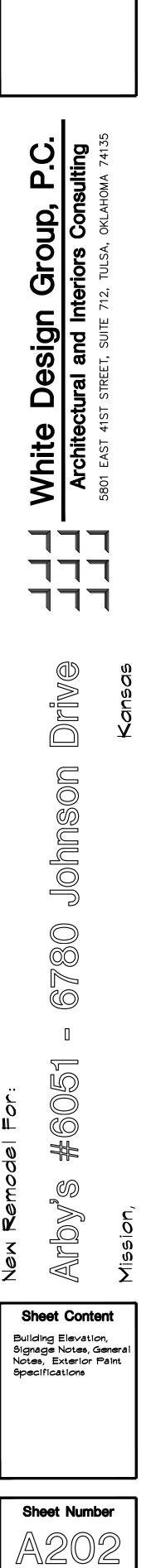
- The Contractor Shall Not Perform Any Structural Demolition Prior To Field Verification From The Structural Engineer.
- 2. These Drawings Represent An Approximation Of Exist. Conditions. The Contractor Shall Notify The Architect Of Any Discrepancies Immediately Upon Uncovering Of The Existing Structural Conditions.
- 3. All Exterior Surfaces Shall Be Cleaned, Patched, Repaired As Required And Prepared To Receive New Paint Per Drawings And Utilizing Arby's Paint Specifications.
- 4. The Contractor Shall Provide Blocking For Signage As Directed By Suppliers.
- 5. The Contractor Shall Provide All Flashing, Assemblies, Details, Etc.
- 6. Verify And Maintain All Existing Roof Drain/Downspout Assemblies.
- The Contractor Shall Provide All Necessary Details As Required By The E.I.F.S. Manufacturer in Order To Maintain The Warranty. Provide All Backer Rods, Sealant Locations, Flashing Minimum Coverages, Etc.
- 8. Provide Dryvit E.I.F.S. System Or Approved Equal, System To Have A Water Management System With Appropriate Details. The E.I.F.S. Application Shall Be Installed Over A Water-Resistive Barrier Complying w/ASTM E2570, With A Means Of Draining Moisture To The Exterior. Provide Submittal With Proposed System And Details Indicated. All E.I.F.S. Work Shall Be Performed Per Manufacturers Requirements To Maintain Warranty.
- 9. The Contractor Shall Review All New E.I.F.S., Paint & Coping Cap Colors And Their Locations With The Owners Construction Manager Prior To Proceeding With The Work.
- 10. Exterior Light Fixtures That Protrude 4" Or More From The Wall Surface At The Base Of The Wall Shall Be Mounted 7' High Or Have The Walking Surface Below Restricted To Prevent Non-Compliance With ADA Protruding Objects Requirements.

DRIVE THRU SERVICE WINDOW NOTE Contractor To Remove Existing Drive Thru Service Window, And Install New Owner Provided Drive Thru Window Into Existing Opening. Provide Break Metal Filler Panels To Match New Window Finish/Color To Fit Existing Opening. Contractor To Verify The Exact Window Specification, Rough Opening Size, Etc. With Owner Prior To Starting Of Construction. In The Case That The New Service Window Is Larger Than The Existing Opening, Notify The Owners Construction Manager For Directive To Either Expand The Opening Or Install Alternate Owner Provide Window To Fit Into Existing Opening Size.

PREFABRICATED CANOPY NOTES The Prefabricated Canopy Manufacturer Shall Be Responsible For The Proper Design & Engineering Required For The Construction And Installation Of The Canopies. The Canopy Manufacturer Shall Provide Fully Engineered Connection Details Sealed And Signed By A Structural Engineer Licensed And In Good Standing In The State That The Project Is Located. The Design Documents Shall Indicate The Existing Conditions Accurately And Be Submitted To The Building Official, Architect, And Owner Prior To Starting Of Any Construction.

Paint Lege
PAINT COLOR #1 Sherwin Williams To Match Dry Finish, Prepare And Prime As R
PAINT COLOR #2 Sherwin Williams #2808 "Rook Finish. Prepare & Prime As Req
PAINT COLOR #3 Sherwin Williams #6869 "Stop' Prime As Required.
PAINT COLOR #4 Sherwin Williams #7024 "Funct Prepare & Prime As Required.

Keynote Schedule				
Mark	Description			
1	New 2'-0"H. Prefab. Metal Signage Band, Red, By Owner. Contractor To Coordinate Installation.			
2	New Drive Thru Service Window Into Existing Opening, Provided By Owner, Installed By Contractor. See Drive Thru Service Window Note This Sheet.			
3	Existing Prefinished Metal Coping To Remain, Paint To Match Wall Color Below, Typical, Patch And Repair As Required, Refer: Exterior Finish Notes.			
4	New 2'-0"H. Prefab. Entrance Canopy Provided And Installed By Canopy Manufacturer. Contractor To Provide New Support Blocking & Coordinate Installation. See Note.			
E	New Storefront Glass Doors Into Existing Frame. Provide New ADA Closers, Push/Pull, Hardware, Threshold And Panic Hardware. Match Color Of Existing Storefront Framing. Refer: Door Schedule.			
6	Existing Glazing Unit To Remain, Typical. Clean Frames, Replace Broken Seal Units, Typical.			
Г	Existing Prefinished Sloped Metal Roofing To Remain. Paint Color #3 'Red'. Refer: Exterior Finish Notes. Verify W/Owner's Construction Manager.			
8	Existing Prefinished Metal Coping To Remain, Paint Color #3 Red, Typical At Brick Stencil Tower Elements. Refer: Exterior Finish Notes.			
9	New Backlit Letter Signage By Owner. Contractor To Coordinate Installation.			
Ø	Existing Masonry Or E.I.F.S. Wall Surface To Remain, Patch And Repair As Required, Paint Color #1, Refer: Exterior Finish Notes.			
11	New 'Envisor' Prefabricated Mechanical Screen System, Color: 'Almond', Verify w/Owner's Construction Manager.			
12	New Painted Accent Band Over Existing Masonry, Patch And Repair Wall Surface As Required, Paint Color *3. Refer: Exterior Finish Notes.			
13	Existing E.I.F.S. Wall Surface, Patch And Repair As Required Paint Color #2, Refer: Exterior Finish Notes.			
14	Existing E.I.F.S. Cornice And Reveals At 'Brick' Tower To Be Painted Color #1.			
E	Existing Collector Heads, Downspouts And Gutter System To Remain. Patch And Repair As Required. Paint To Match Adjacent Wall Surface.			
6	New LED Exterior Performance Wall Sconce At Existing Location, Refer: Light Fixture Schedule.			
[7]	New 2'-0"H. Prefab. Drive-Thru Canopy, Red. Provided & Installed By Canopy Manufacturer. Contractor To Provide New Support Blocking & Coordinate Installation.			
18	New E.I.F.S. Finish W/Brick Stencil Pattern, Color #1, Over Existing E.I.F.S. Remove Decorative Tiles, Skim And Fill Existing Field Of Reveals Around Sign. Verify Blocking & Electrical Requirements For New Hat Signage.			
9	Existing Solid Surface Drive-Thru Apron & Shelf, To Be Removed. Patch And Repair As Required.			
2Ø	Existing Backlit Awning To Be Removed. Patch, Repair Surfaces As Required.			
21	Existing Exterior Performance Wall Sconce To Be Removed.			
22	Existing Backlit Signage To Be Removed. Patch And Repair Wall Surface.			
23	Existing Masonry Wainscot To Remain, Patch And Repair As Required.			
24	Existing E.I.F.S. Cornice, And Reveals To Remain. Prepare As Required And Paint Over.			

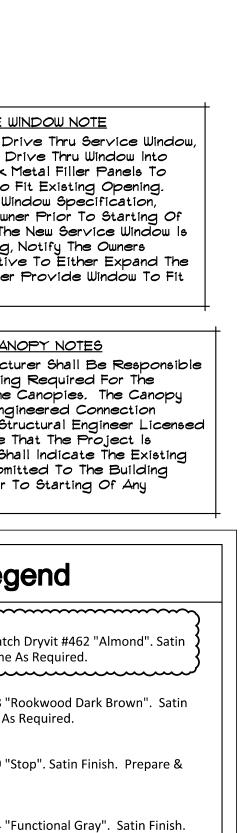


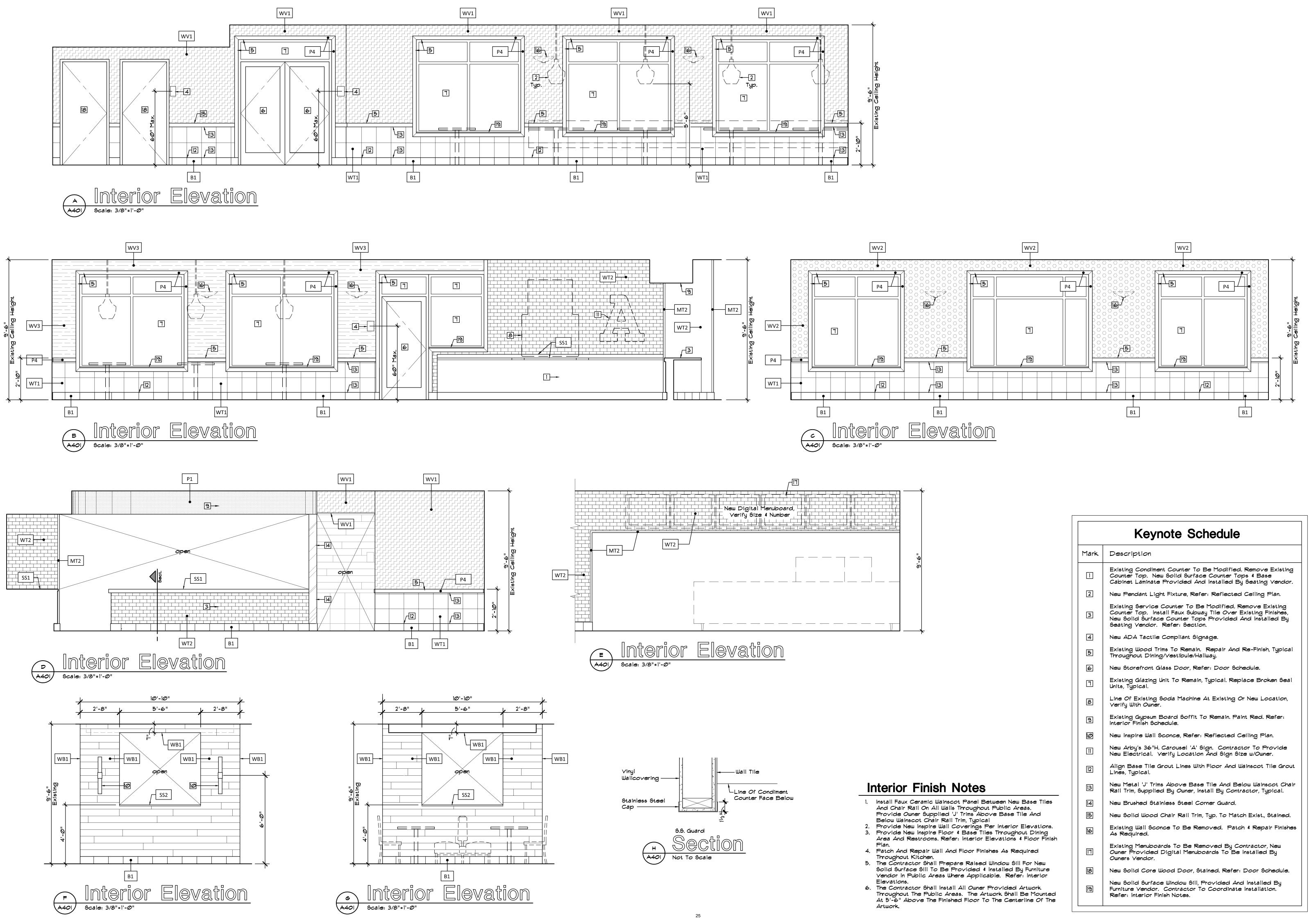
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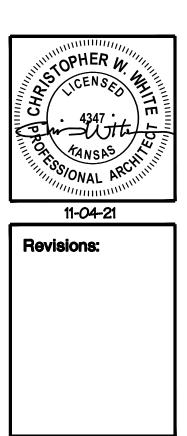
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Revisions:

<u>REVISION:</u> March 10, 2022







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Sheet Content

Interior Elevations,

Interior Finish Notes

Sheet Number

Date: 11-04-21

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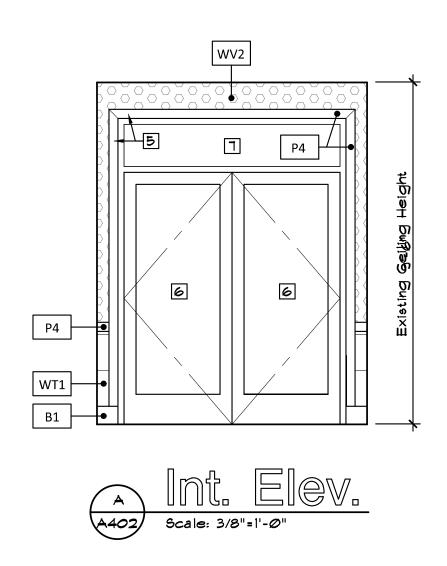
Section, Interior Finish Notes,

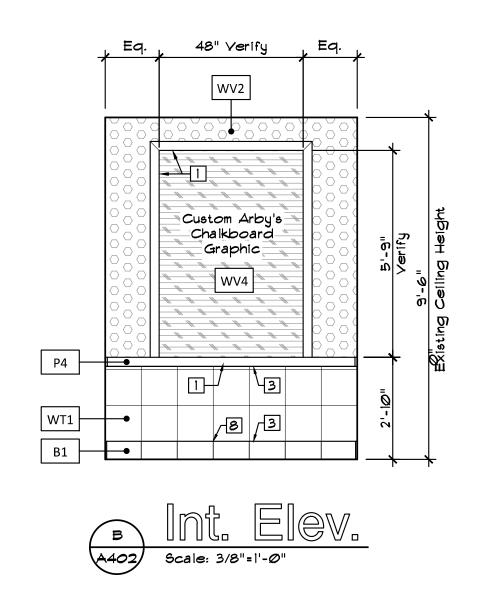
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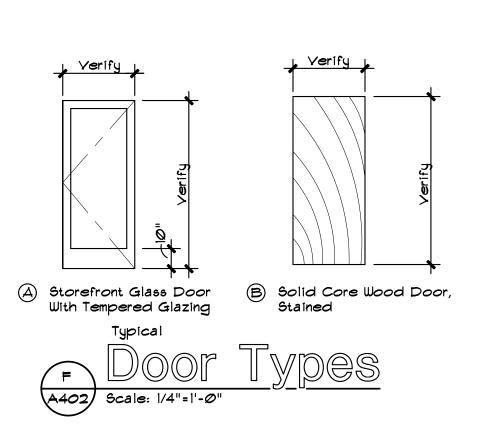
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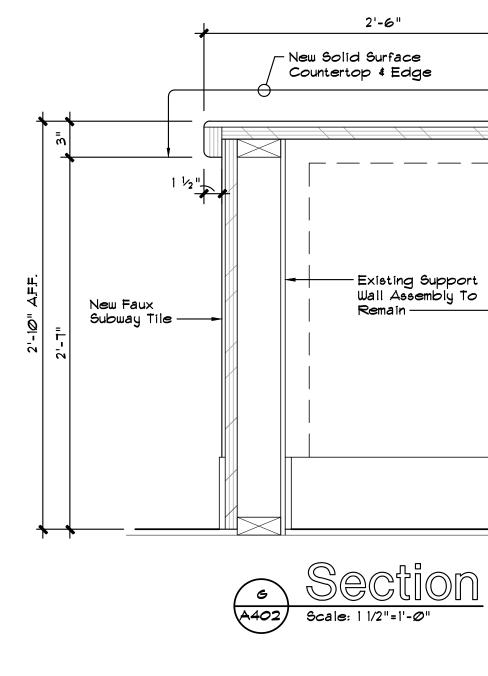
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Keynote Schedule				
Mark	Description			
1	Existing Condiment Counter To Be Modified. Remove Existing Counter Top. New Solid Surface Counter Tops & Base Cabinet Laminate Provided And Installed By Seating Vendor.			
2	New Pendant Light Fixture, Refer: Reflected Ceiling Plan.			
З	Existing Service Counter To Be Modified. Remove Existing Counter Top. Install Faux Subway Tile Over Existing Finishes, New Solid Surface Counter Tops Provided And Installed By Seating Vendor. Refer: Section.			
4	New ADA Tactile Compliant Signage.			
Ŀ	Existing Wood Trims To Remain. Repair And Re-Finish, Typical Throughout Dining/Vestibule/Hallway.			
6	New Storefront Glass Door, Refer: Door Schedule.			
٦	Existing Glazing Unit To Remain, Typical. Replace Broken Seal Units, Typical.			
8	Line Of Existing Soda Machine At Existing Or New Location, Verify With Owner.			
9	Existing Gypsum Board Soffit To Remain. Paint Red. Refer: Interior Finish Schedule.			
0	New Inspire Wall Sconce, Refer: Reflected Ceiling Plan.			
11	New Arby's 36"H. Carousel 'A' Sign. Contractor To Provide New Electrical. Verify Location And Sign Size w/Owner.			
12	Align Base Tile Grout Lines With Floor And Wainscot Tile Grout Lines, Typical.			
13	New Metal 'J' Trims Above Base Tile And Below Wainscot Chair Rail Trim, Supplied By Owner, Install By Contractor, Typical.			
14	New Brushed Stainless Steel Corner Guard.			
15	New Solid Wood Chair Rail Trim, Typ. To Match Exist., Stained.			
6	Existing Wall Sconce To Be Removed. Patch & Repair Finishes As Required.			
Π	Existing Menuboards To Be Removed By Contractor, New Owner Provided Digital Menuboards To Be Installed By Owners Vendor.			
18	New Solid Core Wood Door, Stained. Refer: Door Schedule.			
اما	New Solid Surface Window Sill, Provided And Installed By			









Typical Hardware Schedule

The Following Specifications Are Typical For Each Intended Use, The Contractor Shall Verify Each Door For Use And Hardware Requirement. Provide Submittal To Construction Manager For Approval Prior To Purchasing Of Materials:

Typical Storefront Glass Door	To Exterior (Lockable):
(1) Pull Handle	108 US32D

441

#99EO Series

48 - US32D

8616 AF89P - DP89

- (1) Pull Handle (1) Door Stop
- (1) Rim Panic Exit
- (1) Surface Closer

- Typical Storefront Glass Door Interior (Non-Lockable): (1) Push Bar
- (1) Door Stop
- (1) Pull Handle (1) Surface Closer
- (3) Hinge (1) Door Pull (1) Push Plate
- (1) Privacy Lock (1) Surface Closer
- (1) Kickplate
- (1) Door Stop (1) Door Silencer
- 441 108 - US32D 8616 AF89P - DP89 Typical Single Occupant Restroom Door (Privacy Lockset): BB1279 4 ¹/₇" x 4 ¹/₇" - US26D Sanitgrasp w/4" x 16" Plate 71C 4" x 16" S.S. Push Plate B571 W/Occupancy Indicator 8616 AF86P - 689

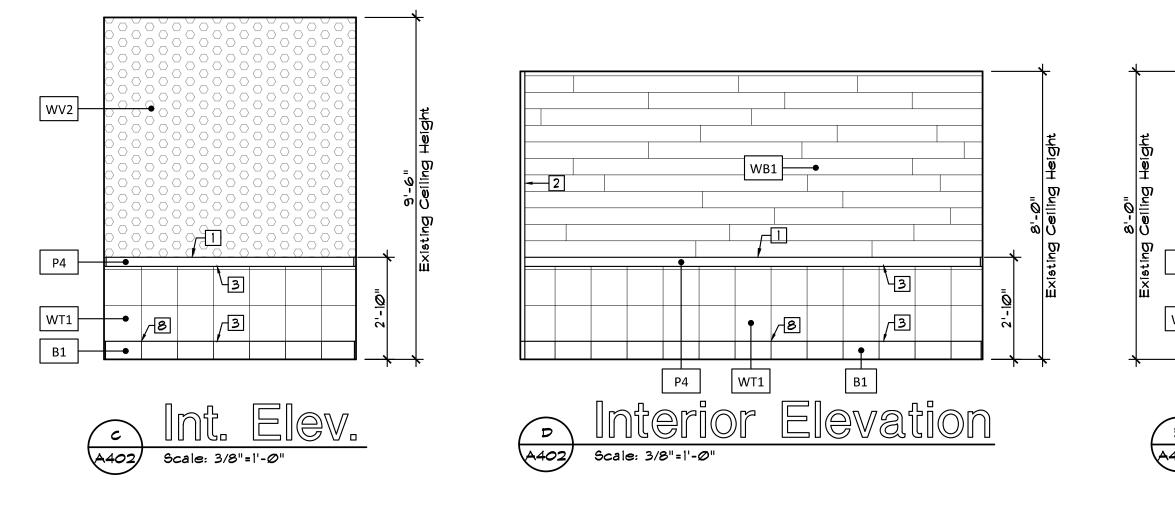
K1050 10"x34" - US32D

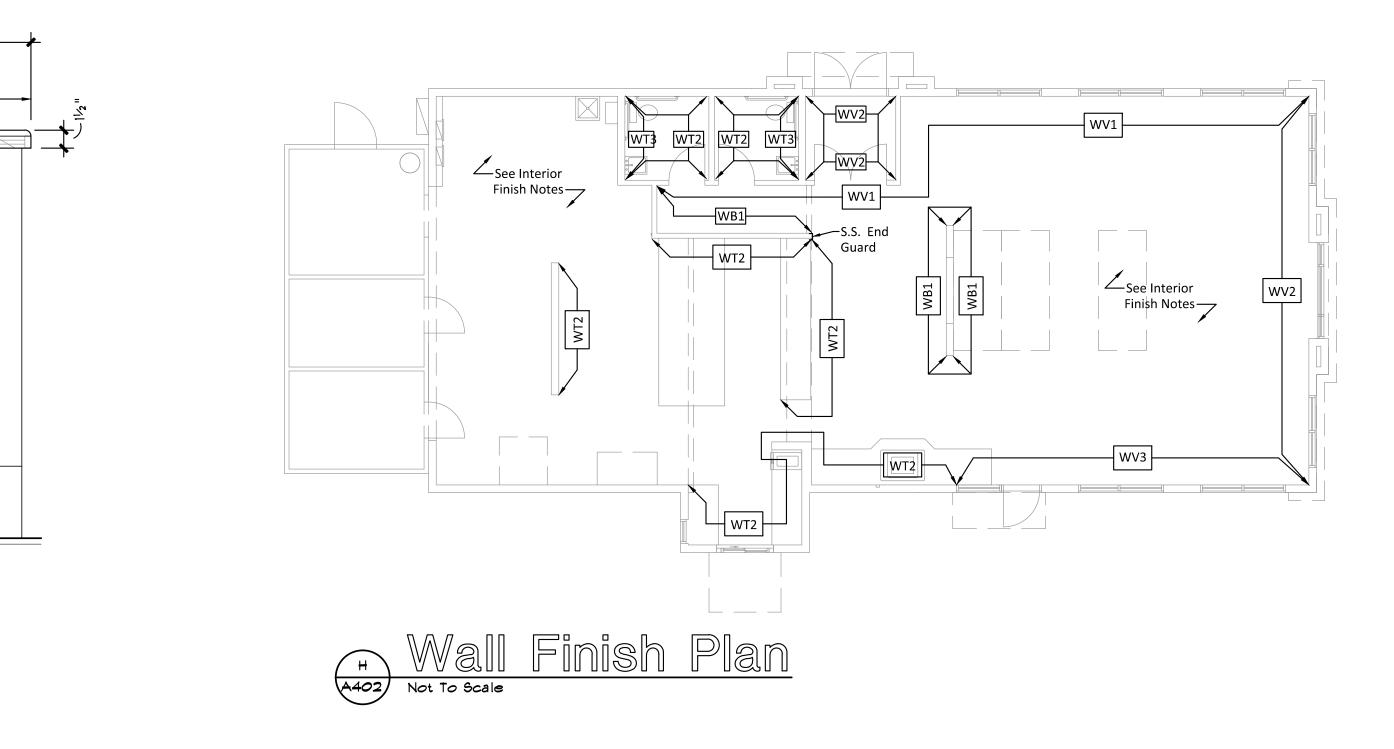
409 - US32D

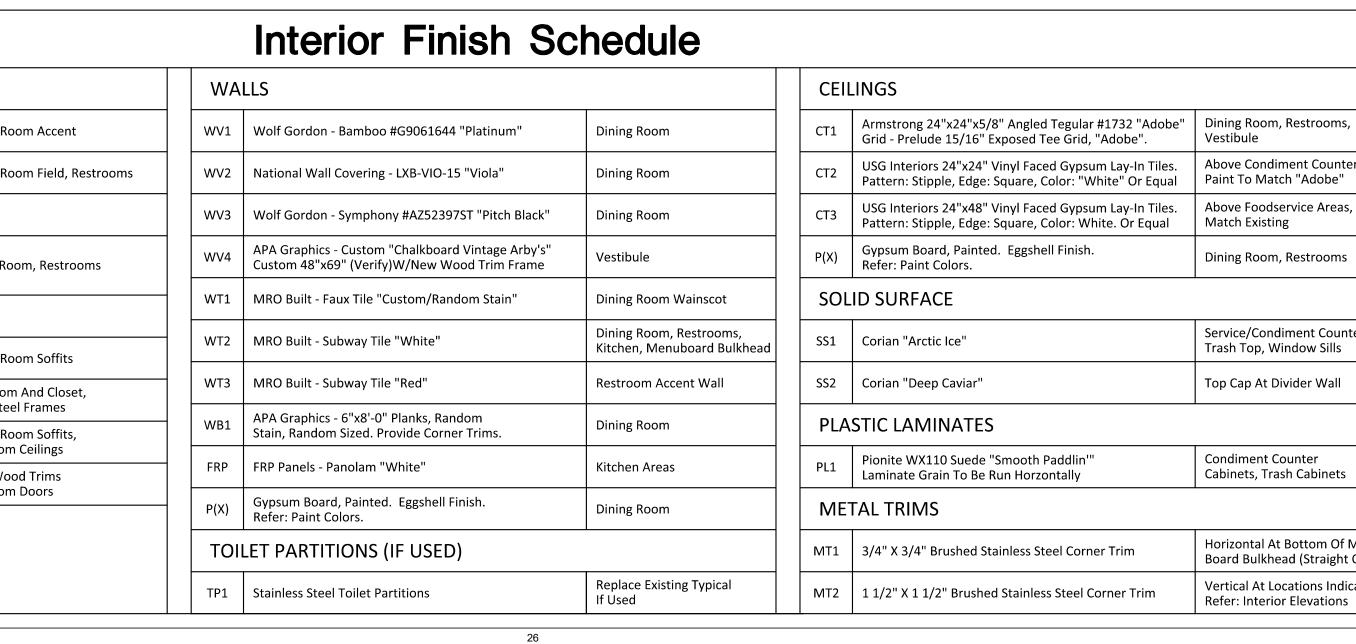
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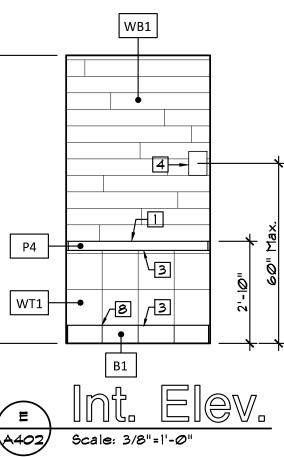
- Rockwood Rockwood Von Duprin Dorma Door Controls
- Rockwood Rockwood Rockwood Dorma Door Controls
- Hager Sanitgrasp Rockwood Schlage Dorma Door Controls Rockwood Rockwood Gleynn Johnson

FLC	ORS	
F1	6"X24" Stonepeak - Cottage "Mountain Retreat" Grout: Custom Building Products #60 "Charcoal"	
F2	12"X12" Stonepeak - Simply Modern "Simply Coffee" Grout: Custom Building Products #60 "Charcoal"	Dining R
BAS	SE	
B1	6"X12" Stonepeak - Simply Modern "Simply Coffee" Grout: Custom Building Products #60 "Charcoal" (Base Tile Is 'F2' 12"x12" Tile Cut In Half)	Dining Ro
PAI	NTS	
P1	Sherwin Williams SW-6864 "Cherry Tomato"	Dining Ro
P2	Sherwin Williams SW-6083 "Sable" Gloss	Bathroor Door Ste
Р3	Sherwin Williams SW-7005 "Pure White"	Dining Ro Restroor
P4	Wood Stain To Match Pionite WW011 "Kingsly"	Solid Wo Restroor









Vestibule Above Condiment Counter Paint To Match "Adobe" Above Foodservice Areas, Match Existing Dining Room, Restrooms

Service/Condiment Countertops Trash Top, Window Sills

Top Cap At Divider Wall

Condiment Counter Cabinets, Trash Cabinets

Horizontal At Bottom Of Menu-Board Bulkhead (Straight Only) Vertical At Locations Indicated Refer: Interior Elevations

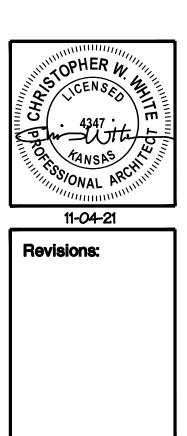
Hardware Notes

- All Hardware Shall Meet ADA Guidelines, & Shall Conform To All City, State, & National Building Codes, Laws, Special Ordinances And/Or Regulations.
- 2. All Standard Locksets Shall Be Lever Type In Conformance To ADA Guideline. Keying Requirements Shall Be Coordinated With The Owner.
- 3. Hinges, Strikes & Other Accessory Requirements Shall Be
- Coordinated And Provided With Door Size, Type, 4 Use.
 Mount The Sanitgrasp Door Pull At 36" A.F.F. To The Bottom Of The Pull Handle.

Interior Finish Notes

- 1. Install Faux Ceramic Wainscot Panel Between New Base Tiles And Chair Rail On All Walls Throughout Public Areas. Provide Owner Supplied 'J' Trims Above Base Tile And Below Wainscot Chair Rail Trim, Typical
- Provide New Inspire Wall Coverings Per Interior Elevations. Provide New Inspire Floor & Base Tiles Throughout Dining Area And Restrooms. Refer: Interior Elevations & Floor Finish
- Plan. 4. Patch And Repair Wall And Floor Finishes As Required
- Throughout Kitchen. 5. The Contractor Shall Prepare Raised Window Sill For New Solid Surface Sill To Be Provided & Installed By Furniture
- Vendor In Public Areas Where Applicable. Refer: Interior Elevations. 6. The Contractor Shall Install All Owner Provided Artwork
- Throughout The Public Areas. The Artwork Shall Be Mounted At 5'-6" Above The Finished Floor To The Centerline Of The Artwork

Keynote Schedule Mark | Description 1 New Solid Wood Trim, Typ. To Match Exist., Stained. 2 New Brushed Stainless Steel Corner Guard. New Metal 'J' Trims Above Base Tile And Below Wainscot Chair 3 Rail Trim, Supplied By Owner, Install By Contractor, Typical. 4 New ADA Tactile Compliant Signage. Existing Wood Trims To Remain. Repair And Re-Finish, Tupical 5 Throughout Dining/Vestibule/Hallway. New Storefront Glass Door, Refer: Door Schedule. 6 Existing Glazing Unit To Remain, Typical. Replace Broken Seal ٦ Units, Typical. Align Base Tile Grout Lines With Floor And Wainscot Tile Grout 8 Lines, Typical.



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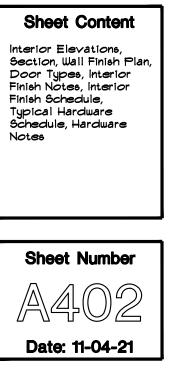
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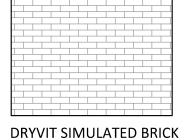
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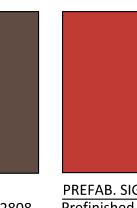


EXISTING BRICK



"Brooklyn Brick" Template Match Dryvit #462 "Almond"





PAINT COLOR #2 Sherwin Williams #2808 "Rookwood Dark Brown"

Prefinished Metal "Red"



PAINT COLOR #4 Sherwin Williams #7024 "Functional Gray"

Sherwin Williams #7024 "Functional Gray". Satin Finish.

EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.) W/SIM. BRICK PATTERN COLOR #1 - FRONT TOWER Simulated Brick Stencil Pattern W/Dryvit 23Pt. 1/2" 'Brooklyn Brick' Template, Field Color: Dryvit #462 "Almond". Grout Color: #ARBY111009, NCB. Metal

EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.) COLOR #2 Dryvit - Color: To Match Sherwin Williams #2808 "Rookwood Dark Brown".

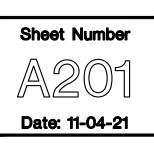
PAINT COLOR #2 Sherwin Williams #2808 "Rookwood Dark Brown". Satin Finish. Prepare & Prime As Required.

PAINT COLOR #3 Sherwin Williams #6869 "Stop". Satin Finish. Prepare & Prime As Required. PAINT COLOR #4

Sherwin Williams #7024 "Functional Gray". Stain Finish. Prepare & Prime As Required.

PREFABRICATED 2'-0" HIGH COLOR BAND Color: Prefinished Metal, Red. Provided By Signage Manufacturer.

- CHIMMANY 03-08-22 **Revisions:** <u>RE∨ISION:</u> March 8, 2*0*22 roup White Design Grc Architectural and Interiors \bigcirc \sim Johnson 02290 :0021 0 \bigcirc \gg . ∑ ₪ Q Sheet Content Colored Building Elevations, Exterior Finish Notes



NEW BUSINESS AGENDA ITEM: 3

PROJECT NUMBER / TITLE:Case #22-09 – Mission Mart Final PlatREQUEST:Approval of the Final Plat of Mission Mart Third PlatLOCATION:5399 Martway Street
Mission, KS 66205
Property ID: KP32400000 0006APPLICANT:Compton Holdings II, L.C.
PO Box 1797
Lawrence, KS 66044

STAFF CONTACT:

Karie Kneller, City Planner



Property Information:

The subject property is the site of a multi-family development located at 5399 Martway Street between Nall Avenue and Roeland Drive on the former site of the Mission Bowl facility. This case is the Final Third Plat for Mission Mart, Lots 7 and 8. The total plat area is 165,644.6 square-feet (3.8 acres). Lot 7 is 27,497.19 square-feet (.63 acres), and Lot 8 is 138,147.41 square-feet (3.17 acres).

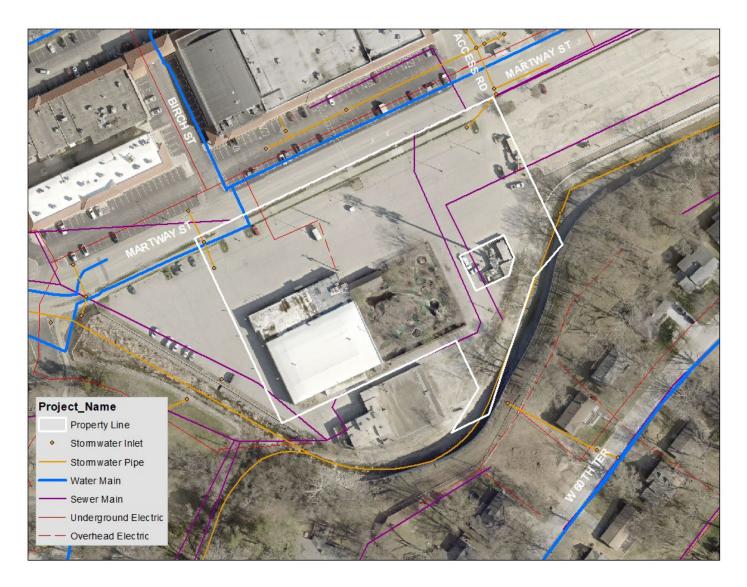
Adjacent properties to the west and east are currently undeveloped, with overflow parking access for commercial properties zoned "MS-2" Main Street District 2 lying on the north side of Martway Street. "R1" Single-family Residential properties lie adjacent to the subject property to the south.

The property lies in a floodway with Federal Emergency Management Agency (FEMA) flood designation "AE", one-percent annual flood risk, which must remain free of encroachment and development, along three sides of its borders - west, south, and east. An additional area along the property at its northwest corner with flood designation "X" lies in the one-percent flood risk zone, but it is protected by a levee system.



Project Background:

The Second Plat was approved by the Planning Commission in November 2020 and the City Council approved the Second Plat in December 2020. This case is the Final Plat for the Mission Mart development, which establishes additional easements following approval of the Second Final Plat for Mission Mart, and realigns or vacates easements according to necessary access for maintenance and repair of public utilities.



A water main runs east and west on the northwest corner of the property along Martway Street and stormwater conveyance at the northwest and northeast corners exists at the northern property line. An additional 5-foot utility and stormwater easement along with a 8.5-foot pedestrian and bicycle easement for the extension of the Rock Creek Trail, combined with a 15-foot gas utility easement create a total 23.5-foot right-of-way easement along the north property line. Sewer mains on the westernmost and easternmost quadrants of the property also have 10-foot easements, and the easternmost sanitary sewer easements are partially vacated in this Third Final Plat to realign with existing infrastructure. Underground and overhead electrical utilities also serve the site with a 10-foot easement, and a wireless cell tower on-site with an approximate area of 3,570 square-feet is designated as Lot 1.

The adjacent property to the west, Lot 7, is currently used for overflow parking by the commercial properties on the north side of Martway Street. To maintain access via the driveway on Lot 8, the property owner requested an additional 20-foot easement roughly centered over the property line between Lot 7 and Lot 8. An additional sanitary sewer easement is vacated with this proposed plat as the utility access is no longer necessary.

Code Review – Consideration of Preliminary Plats:

Mission municipal code at §440.220 states that Preliminary Plats shall be approved by the Planning Commission if it determines that:

1. The proposed preliminary plat conforms to the requirements of this Title, the applicable zoning district regulations and any other applicable provisions of this Code, subject only to acceptable rule exceptions.

It is Staff's determination that the proposed plat is in conformance.

2. The subdivision or platting represents an overall development pattern that is consistent with the Master Plan and the Official Street Map.

It is Staff's determination that the plat represents a development pattern already approved by the Planning Commission and City Council for the planned mixed-use development.

3. The plat contains a sound, well-conceived parcel and land subdivision layout which is consistent with good land planning and site engineering design principles.

It is Staff's determination that the plat supports good land planning and allows for future redevelopment and access to adjacent properties in compliance with adopted standards.

4. The spacing and design of proposed curb cuts and intersection locations is consistent with good traffic engineering design and public safety considerations.

It is Staff's determination that the plat does not propose any changes to curb cuts or intersections.

5. All submission requirements have been satisfied.

All the requirements of 440.220-Submission of Preliminary Plats have been satisfied.

Code Review – Consideration of Final Plats:

Mission municipal code at §440.260 states that Final Plats shall be approved by the Planning Commission if it determines that:

1. The final plat substantially conforms to the approved preliminary plat and rule exceptions granted thereto.

The final plat matches the preliminary plat and the approved Final Development Plan for the subject property.

2. The plat conforms to all applicable requirements of this Code, subject only to approved rule exceptions.

Code requirements are described below. The proposed plat is in conformance.

3. All submission requirements have been satisfied.

All of the requirements of 440.250-Submission of Final Plats have been satisfied.

4. Approval of a final plat shall require the affirmative vote of a majority of the membership of the Planning Commission.

Analysis:

The rights-of-way and easements included with this Third Final Plat of Mission Mart are sufficient to grant pedestrian, bicycle, and automobile access on site and to grant access to designated utility agencies for repairs and maintenance.

Generally, §455.100 of the Mission Municipal Code states that a typical subdivision at the time of an original plat shall exercise good design and layout, that good planning principles are followed, efficient use of land, and natural assets such as trees and topography be retained wherever practical.

The above dimensions and designations are in accordance with the ordinances set forth in the Mission Municipal Code and requirements set forth by City Staff.

Staff Recommendation:

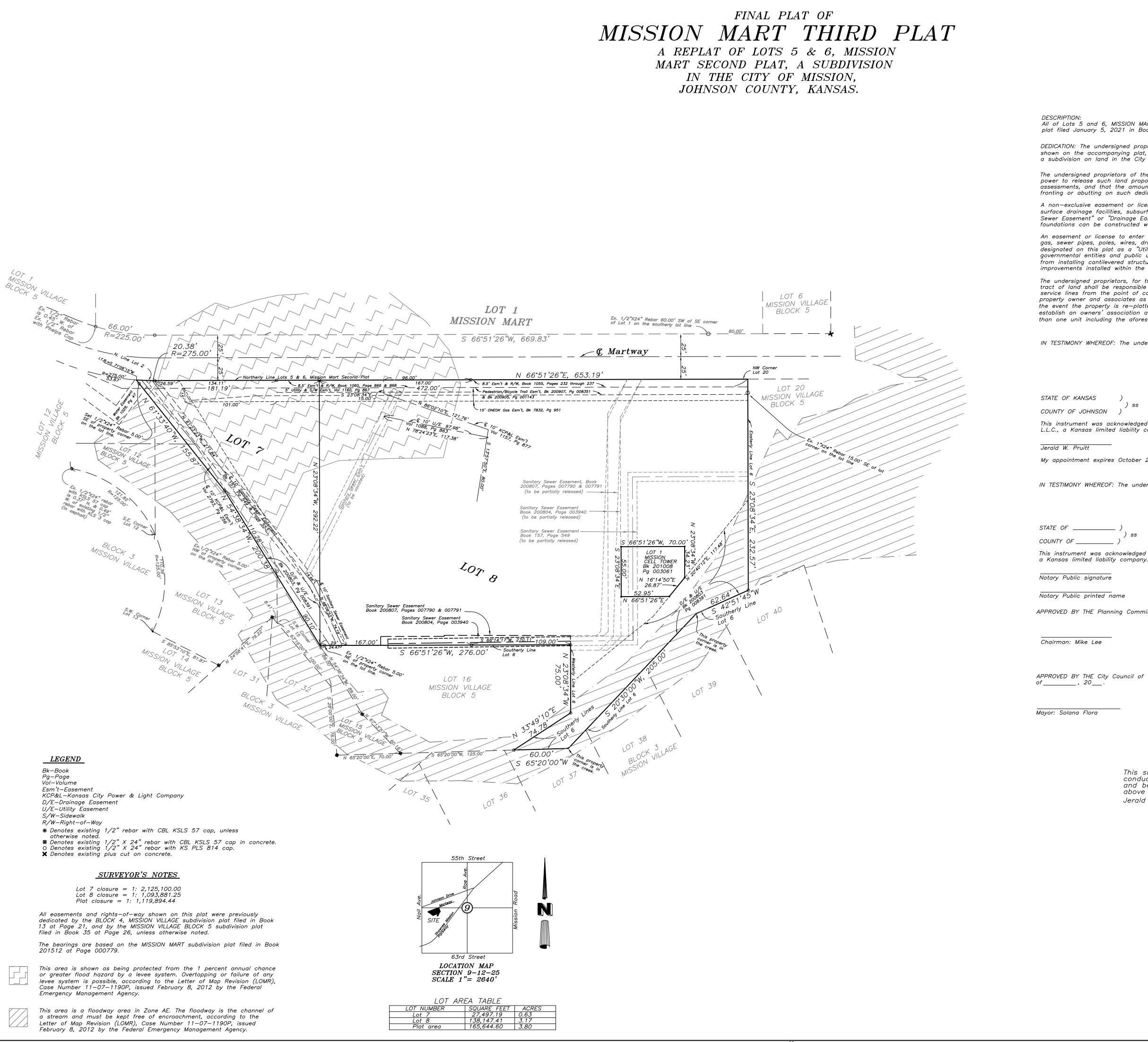
Staff recommends that the Planning Commission approve Case #22-09 the Mission Mart Final Plat of the Third Plat.

Planning Commission Action:

This Final Plat, stamped by a licensed professional surveyor, will be considered by the Planning Commission at the April 25, 2022 meeting.

City Council Action:

Not Applicable.



All of Lots 5 and 6, MISSION MART SECOND PLAT, a subdivision of land in the City of Mission, Johnson County, Kansas, according to the plat filed January 5, 2021 in Book 202101 at Page 000752.

DEDICATION: The undersigned proprietors of the above described tract of land having caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision and plat shall hereinafter be known as "MISSION MART THIRD PLAT", a subdivision on land in the City of Mission, Johnson County, Kansas.

The undersigned proprietors of the above described land hereby consents and agrees that the Governing Body of any special assessment district shall have the power to release such land proposed to be dedicated for streets and roads, or parts thereof, for public use, from the lien and effect of any special assessments, and that the amount of the unpaid special assessments on such land dedicated, shall become and remain a lien on the remainder of this land fronting or abutting on such dedicated road or street.

A non-exclusive easement or license to enter upon, locate, construct, use and maintain or authorize the location, construction, maintenance or use of conduits, surface drainage facilities, subsurface drainage facilities, and similar facilities, upon, over and under these areas outlined and designated on this plat as "Storm Sewer Easement" or "Drainage Easement" or "D/E" is hereby granted to the City of Mission, Kansas. Storm Sewer Easements end at grade, however building foundations can be constructed within said easements below grade.

An easement or license to enter upon, locate, construct, use and maintain or authorize the location, construction or maintenance and use of conduits, water, gas, sewer pipes, poles, wires, drainage facilities, irrigation systems, ducts and cables, and similar facilities, upon, over and under these areas outlined and designated on this plat as a "Utility Easement" or "U/E" is hereby granted to the City of Mission, Kansas with subordinate use of the same by other governmental entities and public utilities as may be authorized by state law to use such easement for said purposes. This easement shall not prevent Grantor from installing cantilevered structures over the easement area, so long as such structures do not interfere with Grantee's ability to construct and maintain its improvements installed within the easement area.

The undersigned proprietors, for themselfs, and their successors and assigns, hereby agrees that the respective owner(s), of buildings on the above described tract of land shall be responsible for the maintenance and repair of all building plumbing and sanitary sewer service lines common to more than one unit, and service lines from the point of connection at the building to the point of connection at the main. Individual unit tenants shall allow access to the units by the property owner and associates as needed for proper maintenance, repair and/or replacement of plumbing lines that ore common to more than one unit. In the event the property is re-platted to allow the sale of individual units within the building(s), the undersigned proprietor, its successors and assigns shall establish an owners' association and record a restrictive covenant obligating such association to repair and maintain all building plumbing common to more than one unit including the aforesaid service lines from such building(s) to the main prior to sale of an individual unit within such building(s).

IN TESTIMONY WHEREOF: The undersigned owner of Lot 7, has hereunto set his hand this _____ day of April, 2022.

Ridgeview North Associates, L.L.C. a Kansas limited liability company, d.b.a. Mission Mart Shopping Center.

Steve Choikhit, Manager

) 55

This instrument was acknowledged before me on the _____ day of April, 2022, by Steve Choikhit as Manager of Ridgeview North Associates, L.L.C., a Kansas limited liability company, d.b.a. Mission Mart Shopping Center.

My appointment expires October 29, 2024.

IN TESTIMONY WHEREOF: The undersigned owner of Lot 8, has hereunto set his hand this _____ day of April, 2022.

Douglas Compton Manager

Compton Holdings II, L.C.

) ss

This instrument was acknowledged before me on this ______ day of April, 2022, by Douglas Compton as Manager of Compton Holdings II, L.L.,

My appointment expires: _____

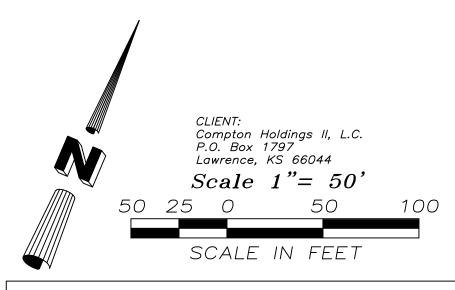
APPROVED BY THE Planning Commission of the City of Mission, Johnson County, Kansas, this _____ day of _____, 20____,

Planning Commission Secretary: Kimberly Steffens

APPROVED BY THE City Council of the City of Mission, Johnson County, Kansas, this _____ day of _____ , 20 ____.

City Clerk: Audrey McClanahan

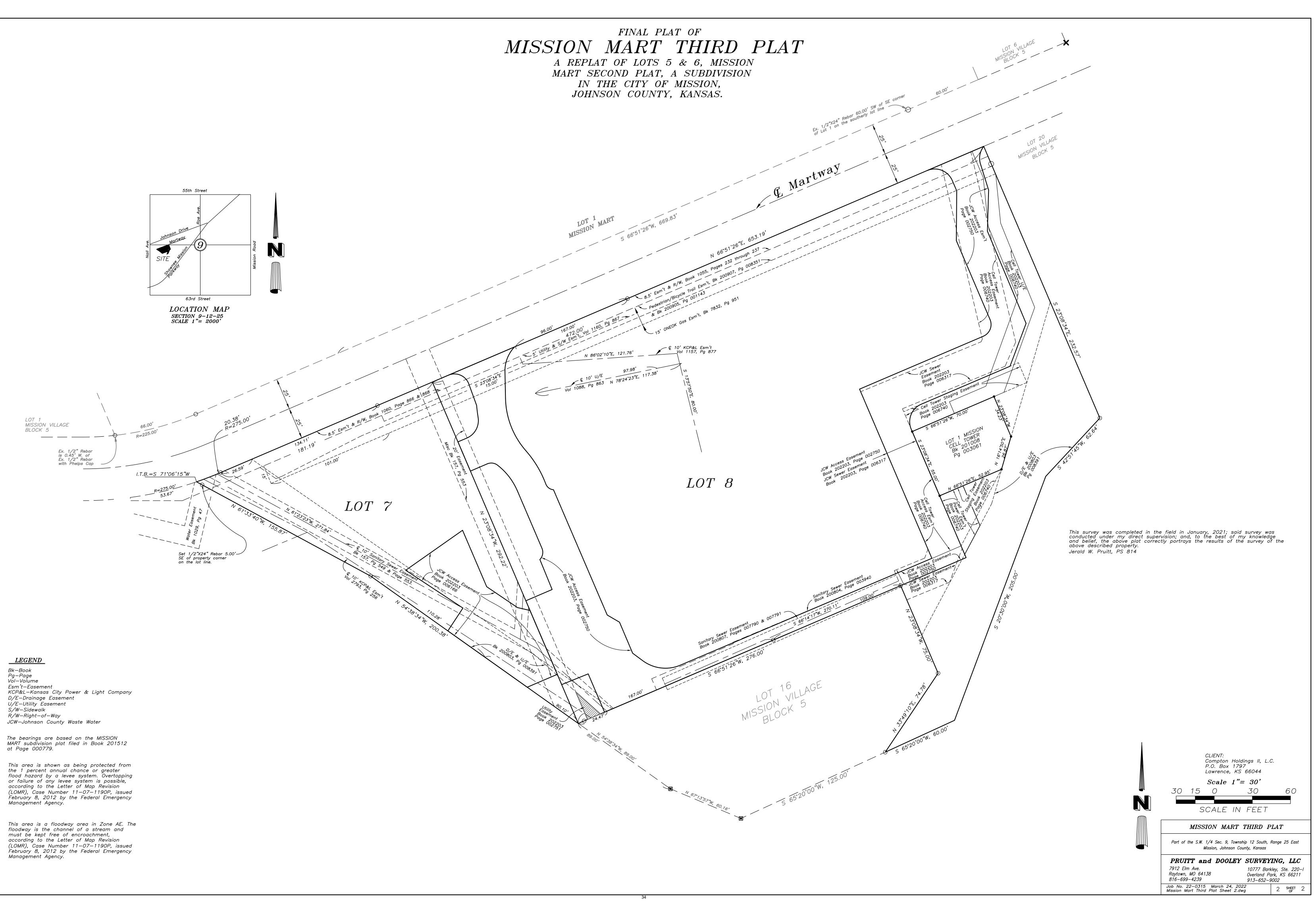
This survey was completed in the field in January, 2021; said survey was conducted under my direct supervision; and, to the best of my knowledge and belief, the above plat correctly portrays the results of the survey of the above described property. Jerald W. Pruitt, PS 814



MISSION MART THIRD PLAT

Part of the S.W. 1/4 Sec. 9, Township 12 South, Range 25 East Mission, Johnson County, Kansas

PRUITT and DOOLEY SURVEYING, LLC 7912 Elm Ave. 10777 Barkley, Ste. 220–1 Raytown, MO 64138 Overland Park, KS 66211 816-699-4239 913-652-9002 Job No. 22–0315 March 8, 2022 Mission Mart Third Plat sheet 1.dwg SHEET 2



Bk–Book Pg–Page Vol–Volume Esm't–Easement KCP&L–Kansas City Power & Light Company D/E–Drainage Easement Ú/E–Utility Easement S/W-Sidewalk R/W-Right-of-Way JCW-Johnson County Waste Water

must be kept free of encroachment,



MEMORANDUM

To: Chairman Lee and Members of the Planning Commission

From: Brian Scott, Deputy City Administrator

Date: April 21, 2022

Regarding: Council Decision on Mohawk Park

At last night's City Council meeting (4/20/22), the City Council consider the proposed improvements to Mohawk Park and the Planning Commission's recommendation for approval with the condition that:

- 1. The parking lot be improved but remain where it currently is on the west side of the park, and
- 2. That crosswalks be added at 67th Street and Lamar.

After deliberation, the City Council voted unanimously to approve the Mohawk Park improvements. However, it overruled the first condition that the parking lot remain where it is currently located on the west side of the park.

Section 440.175(3) - Consideration of Preliminary Development Plans – of the Mission Municipal Code states:

After the Planning Commission submits a recommendation of approval or disapproval and the reasons therefore, the City Council may:

- a) Approve and adopt such recommendation;
- b) Override the Planning Commission recommendation by two-thirds (2/3) majority vote of the City Council; or
- c) Return such recommendations to the Planning Commission with a statement specifying the basis for the City Council's failure to approve or disapprove.

In this case the Council opted to override the Planning Commission's recommendation. The primary reason for this was that the applicant (in this case, City staff) did not present the Planning Commission with an overall review of the proposed improvements to Mohawk Park and a thorough explanation as to why the improvements (the shelter and the new parking lot) were being located as proposed.

The City Administrator, Laura Smith, has been invited to attend the Planning Commission to provide a better explanation of the Council's decision and some background on the master planning process for the City's parks that was missing from the original presentation at the Planning Commission meeting on March 28th.

Staff did solicit input from the City's on-call traffic engineer, David Mennenga at GBA, after the Planning Commission's consideration on this manner – see attached report. I wanted to provide this to you as well.



DESIGN MEMORANDUM

To:	Laura Smith, City Administrator
From:	David J. Mennenga, P.E., PTOE
Date:	April 6, 2022
Subject:	Mohawk Park Concept Plan – Traffic Access & Circulation Impacts

As requested, we are providing this design memorandum to briefly describe some of the traffic access and circulation impacts that might be expected in conjunction with the proposed conceptual plans for Mohawk Park, which is located at the northeast corner of the intersection of Lamar Avenue with 67th Street. It should be noted that 67th Street serves as the southern city limit of Mission separating it from neighboring Overland Park. The primary purpose of this memo is to compare and contrast the existing park access and pedestrian interactions with those that would be provided if the surface parking lots are relocated to the southeast and access is instead provided as the northern leg at the intersection of 67th Street with Beverly Street.

Existing Conditions: The following summary table provides a brief comparison between the various characteristics on the roadways adjacent to Mohawk Park, namely Lamar Avenue along the western edge of the park that provides its existing access and 67th Street along the southern edge of the park which would provide the relocated access that is planned.

	Lamar Avenue	67 th Street
Roadway Classification	Minor Arterial (No Trucks)	Residential Collector
Roadway Width	2 Lanes (natural section)	2 Lanes (natural section)
	Marked "sharrow" bike lanes	
	Widens to 3 Lanes by Park	
Speed Limit	30 mph	25 mph
Traffic Control at Intersection	STOP sign-controlled	STOP sign-controlled
Lanes Provided at Intersection	Exclusive Left Turn Lanes	Single shared lane
	Shared Through/Right Turn Lane	for all traffic movements
Traffic Volumes	7,700 vehicles per day	3,200 vehicles per day
(From OPKS Traffic Maps)	(Count taken south of	(Count taken west of
	Shawnee Mission Parkway)	Nall Avenue)

GBA

As shown in this table, Lamar Avenue generally serves a more critical role within the existing street network that serves the City of Mission and the areas surrounding Mohawk Park. Lamar Avenue carries a higher volume of traffic and also provides a widened 3-lane roadway cross-section along the western edge of the park. This widened roadway width allows for exclusive north-south left-turn lanes to be provided on Lamar Avenue at the existing four-way STOP sign-controlled intersection with 67th Street.

The existing access drive into the park's surface parking lot is located just to the south of the intersection with 66th Terrace (i.e., a residential street). Only one residential private driveway is located along the west side of Lamar Avenue, which minimizes the chance of any detrimental interactions and/or impacts due to park-related traffic. Sidewalks are currently provided along only the western side of Lamar Avenue, meaning that no vehicle-pedestrian interactions occur across the access driveway into the park's existing surface parking lot. Within the park itself, the Mohawk Park walking trail is bounded by a chain link fence along the east side of Lamar Avenue, the north side of 67th Street, and the west side of Horton Street. Therefore, there are currently no pedestrian interactions with vehicles in the park except within the area near the playground and loop driveway from Horton Street.

Along 67th Street adjacent to Mohawk Park, there are currently six residences located along the south side of the roadway between the Lamar Avenue and Beverly Street intersections. Five of these residences have private driveways that provide access onto 67th Street, while the easternmost home has its drive access onto Beverly Street. Similarly, three private residences are located along the south side of 67th Street between the Beverly Street and Horton Street intersections, but the westernmost home also has its drive access onto Beverly Street. Overhead electrical power lines and an underground gas utility are additional facilities to be considered if the access to the park's surface parking lot is relocated to align at the intersection of 67th Street with Beverly Street.

Conceptual Park Plans: In conjunction with the conceptual improvements to Mohawk Park, we understand that there are plans to remove the existing perimeter chain link fence along Lamar Avenue, 67th Street, and Horton Street. This fence removal will require park users to generally be more vigilant, as some of the vehicular buffer that is currently in place will no longer be provided to pedestrians on the existing walking trail. If the access to the park's surface parking lot is also relocated to align with the intersection of 67th Street with Beverly Street, then a vehicular crossing of the existing Mohawk Park trail would be required. However, it should be noted that a similar vehicular crossing might also be needed if the existing walking trail was ever expanded into the northwestern portions of Mohawk Park and extended across the access driveway along Lamar Avenue to/from the existing surface parking lot. In either case,



we believe that these potential pedestrian-vehicle conflicts can be safely managed using appropriate regulatory signage, pavement markings, and detectable warnings to provide clear guidance and right-of-way delineation to both pedestrians and drivers at these crossing locations. In our opinion, the magnitude of the vehicle-pedestrian conflicts at either future location would be similar since they will generally be related to the typical planned activities associated with the park amenity improvements.

We also believe that there are additional opportunities under both the existing and/or proposed conditions to improve the general pedestrian walkability in the area. For any relocated park entrance aligning with the 67th Street / Beverly Street intersection, the conceptual plans should be modified to include a sidewalk connection and curb ramp to provide a pedestrian crossing of 67th Street. As most of the park-related traffic at this relocated access driveway would be expected to use 67th Street to/from the west, we would recommend placing the 67th Street pedestrian crossing on the east side of the intersection to minimize conflicts with both the eastbound left-turn and southbound right-turn vehicle maneuvers. Similarly, a marked crosswalk should be provided across the south leg of Beverly Street to connect the existing sidewalk segments along the south side of 67th Street. Given the sidewalk connections already depicted on the proposed conceptual plans for Mohawk Park, it may also be advisable to provide an additional pedestrian crossing of 67th Street intersection (which would require an additional curb ramp on the south side of the street).

In addition, with the existing four-way STOP sign-controlled conditions currently provided at the intersection of Lamar Avenue with 67th Street, marked crosswalks could also be provided. With the existing sidewalk connections already provided and with Mohawk Park as a pedestrian destination within the northeast corner of the intersection, it may be advisable to "box in" the intersection with four marked crosswalks to accommodate all desirable pedestrian movements. Additional curb ramp and detectable warning improvements may also be warranted at this intersection in conjunction with adding these marked crosswalks, which could require coordination with the Overland Park public works department.

cc: BAB, file

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